

# WESTERN THEME OVERLAY DISTRICT DEVELOPMENT MANUAL



TOWN OF DAVIE, FLORIDA

DOVER, KOHL & PARTNERS  
TOWN PLANNING

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CHAEI, COOPER & ASSOCIATES  
ARCHITECTURE

## PRINCIPLES FOR THE WESTERN THEME DEVELOPMENT MANUAL

### DOWNTOWN DAVIE SHOULD HAVE:

- ...A HIERARCHY OF HUMAN-SCALED STREETS, BLOCKS, LOTS, AND PUBLIC SQUARES AS THE BASIC VOCABULARY.
- ...STREETS WELL FRAMED ON THEIR SIDES BY BUILDINGS THAT FORM PUBLIC SPACES FOR PEDESTRIANS.
- ...A FINE-GRAIN MIX OF USES, VERTICALLY AND HORIZONTALLY, WITH EVERYDAY NEEDS WITHIN A 5 - 10 MINUTES WALK.
- ...INCREMENTALLY-BUILT BUILDINGS OF DURABLE, REUSABLE FORM, WITH WIDE ARCHITECTURAL VARIETY.
- ...A MIX OF INCOMES AND AGES, VIA VARIATION IN BUILDING TYPES AND SIZES TO OWN AND RENT.
- ...RECOGNIZABLE PUBLIC PLAZAS OR SQUARES AND A DISTINCT CENTER.
- ...LANDSCAPE USED AS A SPACE-DEFINER IN PUBLIC SPACES, FOR SHADE AND AIR QUALITY.
- ...PERCEIVABLE NEIGHBORHOODS, UNDER THE GOVERNANCE OF THE PEOPLE WHO LIVE THERE.
- ...REDUCED CURB CUTS TO FREE TRAFFIC FROM IRREGULAR STOPPING, RECONNECTING THE INTERMITTENT SIDEWALK, CREATING A SAFER ENVIRONMENT FOR PEDESTRIANS AND PERMITTING ON-STREET PARKING.
- ...ADDITION OF NEW STREETS AND CONNECTING EXISTING STREETS.

### DOWNTOWN DAVIE SHOULD NOT HAVE:

- ...HUGE, CONTINUOUS PARKING LOTS (IN A REAL TOWN CENTER, THE PARKING IS EASILY HANDLED).
- ...ISOLATED BUILDINGS IN SEAS OF ASPHALT (IN A REAL TOWN CENTER, EACH BUILDING IS PART OF THE WHOLE)
- ...MEGABUILDINGS WHICH ARE NOT REUSABLE, ARE BUILT ALL AT ONCE, ARE HOMOGENEOUS, WITH A SINGLE FUNCTION.
- ...A SEPARATION OF USES, WITH LONG DISTANCES BETWEEN BASIC ACTIVITIES.
- ...GIANT APARTMENT BUILDINGS THAT GENERATE SOCIAL PROBLEMS BY WAREHOUSING PEOPLE OF ONE INCOME OR AGE.
- ...LANDSCAPING AS DISGUISE FOR EYESORES THAT SHOULD BE AVOIDED ANYWAY, OR FOR DECORATION ONLY.
- ...OVERSIZED SERVICE AREAS FACING NEIGHBORS (A REAL TOWN CENTER HAS ALLEYS AND SMALL DOCKS).



# WESTERN THEME DEVELOPMENT MANUAL

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## INTENT:

The Western Theme Overlay District Development Manual's intent is to provide guidelines that evoke a contemporary Western image in downtown Davie. These standards reflect study of the western United States, local pioneer settlers, and the principles of Traditional Neighborhood Design (TND), which draws upon precedents established by historic towns in determining street layout and design, mixture of uses, building placement, and architectural standards. The intent of these standards is to shape high-quality public spaces by using buildings to form a valuable neighborhood for its inhabitants.

The historic town of Davie was the first improved town in the Everglades. Originally called Zona by its settlers, Davie has remained faithful to its past, embracing its roots as a rural community. Its Western style architecture has helped to keep Davie an authentic place with a character of its own.

This unique image sets downtown Davie apart from the surrounding suburban development pattern by embracing and enhancing the Town's identity, quality of life and economy. A Western theme has long characterized the Town from its early beginnings as an agriculture and cattle raising community to its presence in horse and equestrian activities. The district's focus is to be the civic center of town. Improvements to Town Hall and the Bergeron Rodeo Arena, with a renewed commitment to street activity will drive redevelopment in the CRA district.

The following guidelines offer information related to overall urban design as well as individual building detail. The images and diagrams presented are meant to illustrate the desired Western Theme. These examples are not meant to be copied or to limit the designer's creativity. In fact, variety is an important element in evoking the Western theme.

## HOW TO USE THE WESTERN THEME DEVELOPMENT MANUAL:

1. Find your lot within the Western Theme Overlay District.
2. Next, review the **Urban Standards** and identify the **Building Type** for height and building placement requirements, as well as precedent examples.
3. Next, review the **Street Standards**, which contain regulations pertaining to street design.
4. Next, review the **Parking Standards**, which contain regulations pertaining to parking layout and location.
4. Next, review the **Architectural Standards**, which contain regulations for building details and materials.
5. Finally, review the **Landscape Standards**, which contain regulations for landscape design features.

## **REVIEW PROCEDURE & PERMITTING:**

These standards shall serve as a guide to the character and style of all building design, signage, lighting, fencing, material, and landscaping. It shall also serve to define development regulations which shall supplement and be cumulative to the development regulations of any zoning area situated within the district. Users are directed to review the regulations of Chapter 12, "Land Development Code," of the Davie Code of Ordinances, and to the future land use element of the comprehensive plan to obtain complete knowledge of any further regulations applying within this zoning district. Where there is a conflict, the standards in this regulation shall supersede all others.

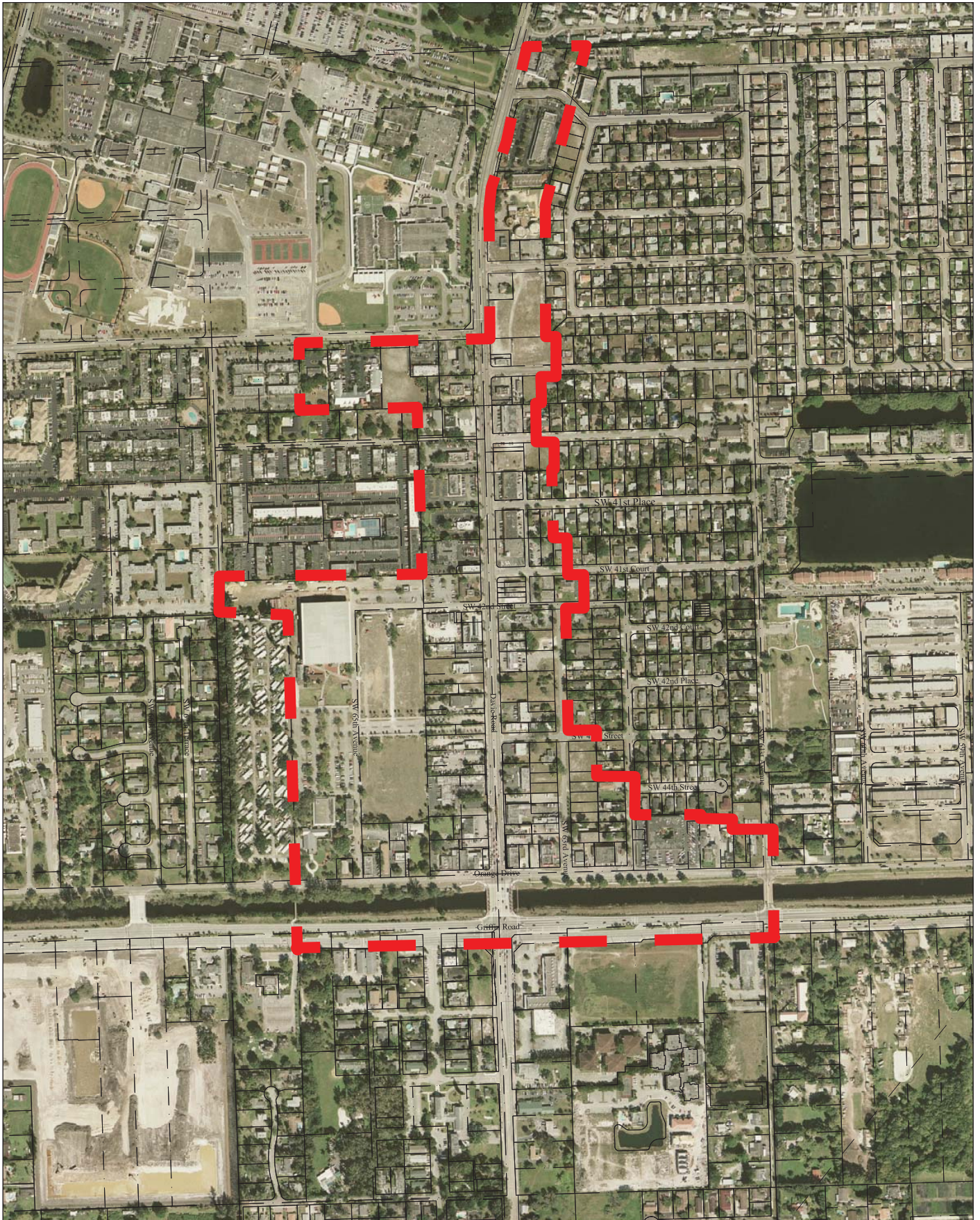
Conformance with the guidelines and development regulations as determined by Staff review should facilitate development approval. The Site Plan Committee and Town Council will review all site plans and designs within the Western Theme Overlay District including plans which contain elements not expressly recommended in the manual, and may recommend approval based on their consistency with the intent of the manual.

Any application for a permit for development within the bounds of this district made subsequent to the date of enactment of the ordinance from which this article was derived shall comply with the district regulations contained within this article. The requirements of this section shall apply to, but not be limited in, their application to new construction, additions, alterations and redevelopment of existing structures. This section shall, however, not be construed to require any application for a development permit when such application is not otherwise required by the code.



# I. Illustrative Plan, Diagrams, & Renderings

## DAVIE WESTERN THEME OVERLAY DISTRICT

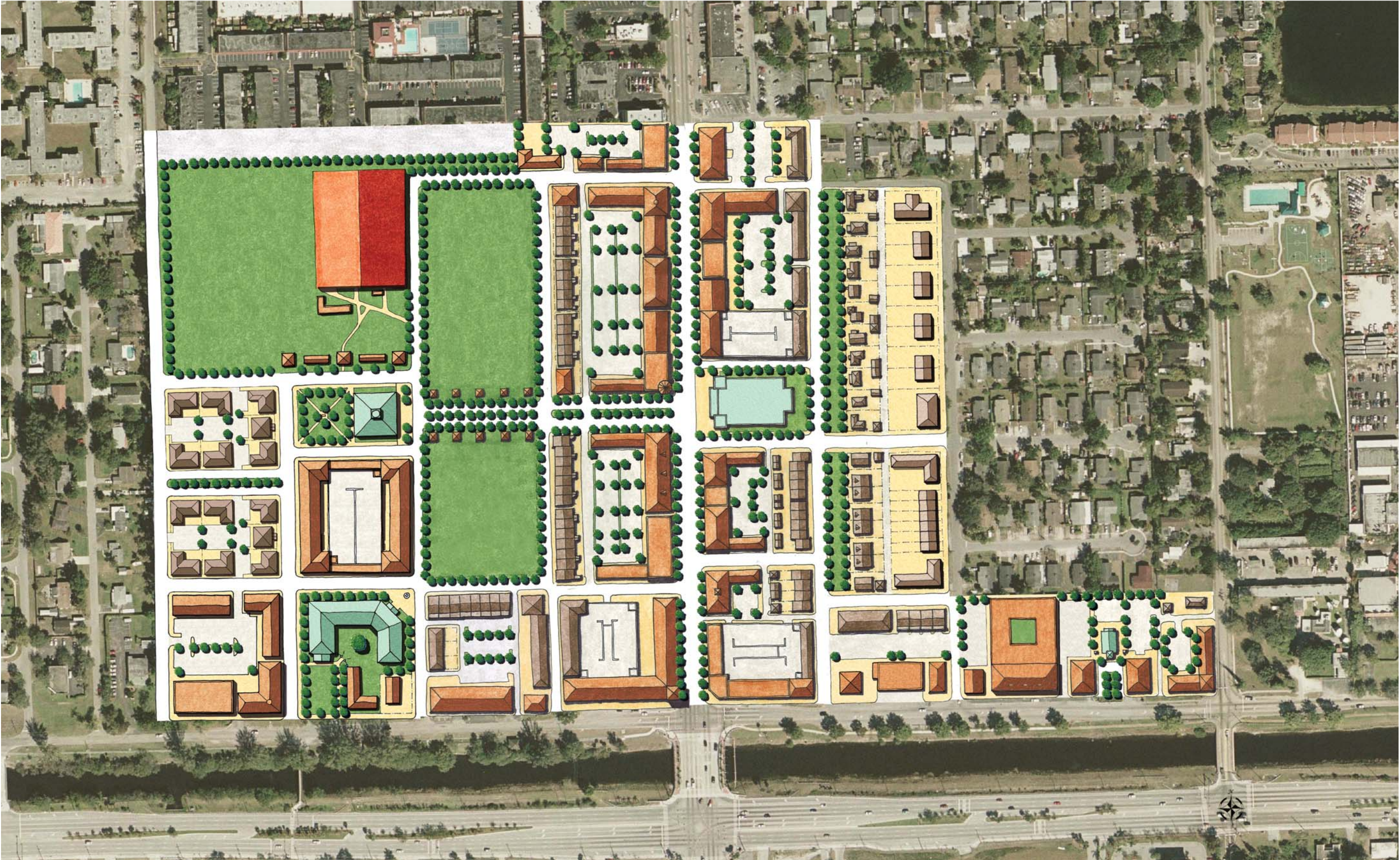




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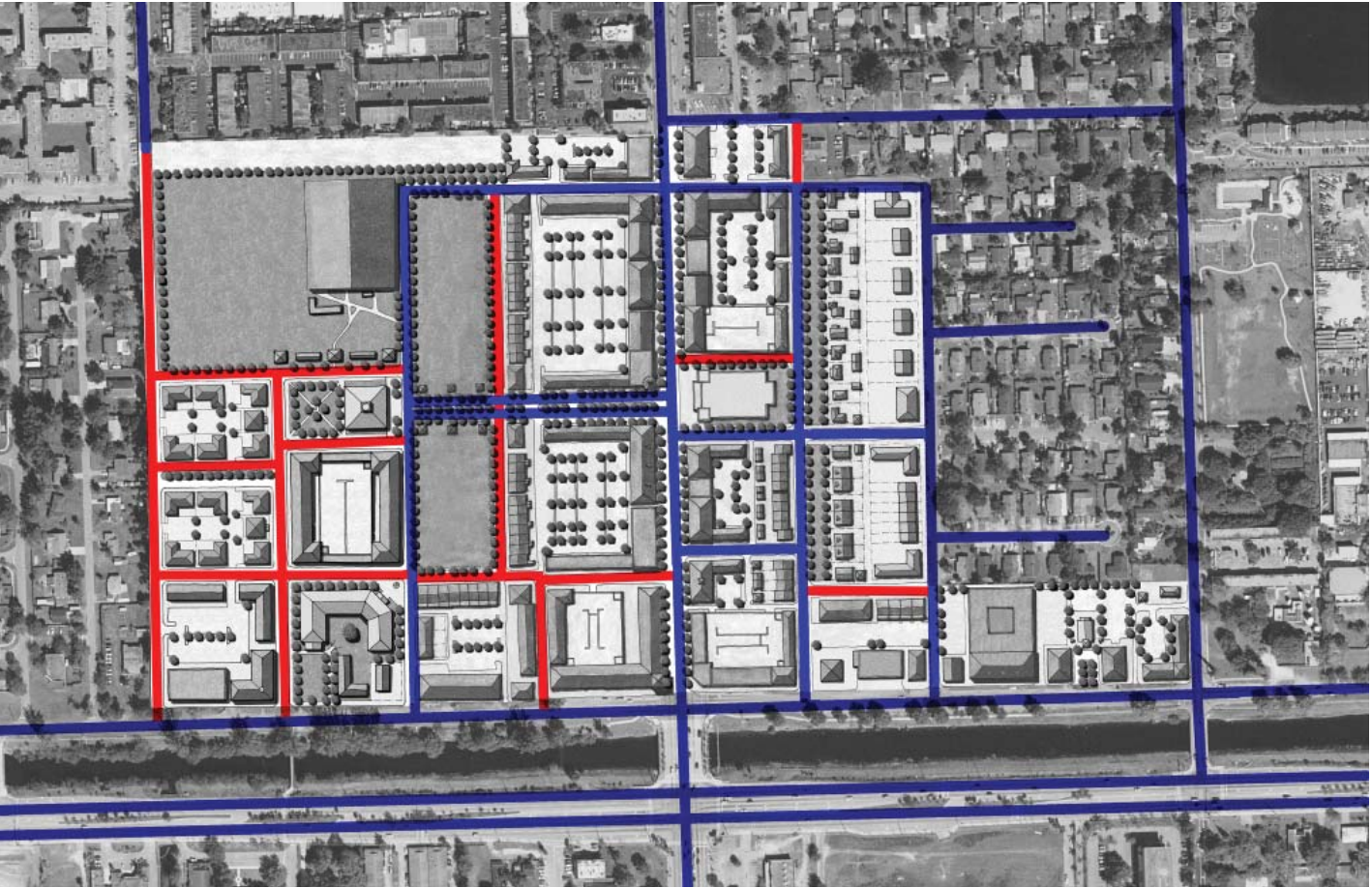
**DOWNTOWN DAVIE ILLUSTRATIVE MASTERPLAN**



\*Note: This is not a regulatory document. This is an illustrative plan meant to guide future development of the Downtown Davie.



STREET NETWORK DIAGRAM



Downtown Street Network

Proposed Streets  
Existing Streets

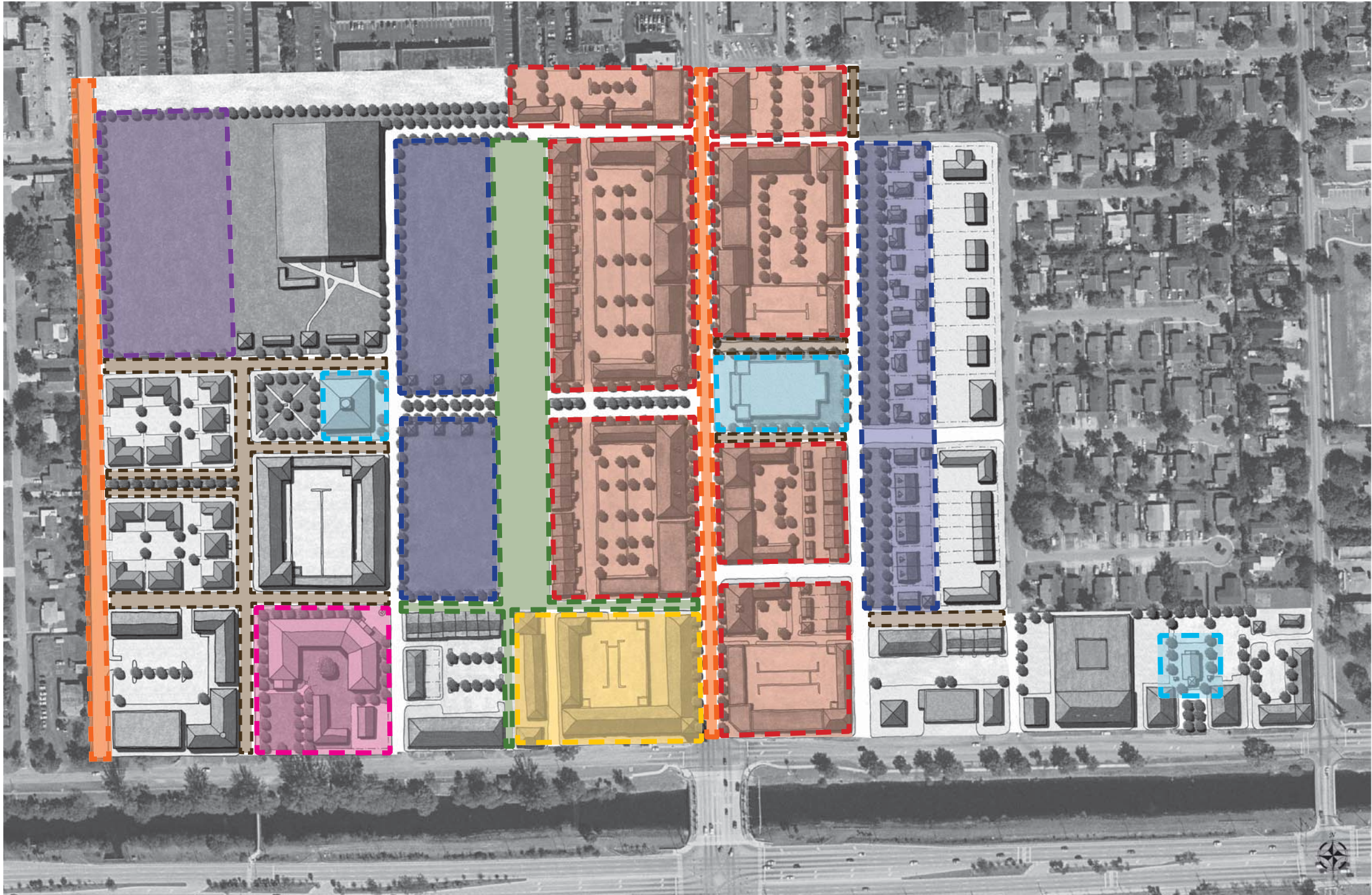
COMPONENTS OF PLACE: STREETS & BLOCKS

Walkability is the cornerstone and key to the area's efficient ground transportation. Safety and visual appeal are key to creating a pedestrian friendly environment. Streets must be made safe and comfortable in order to attract and retain shoppers and residents. Factors that create safe and comfortable conditions include:

- **Providing on-street parking.** On-street parking serves to separate pedestrian activity from street activity, making pedestrians feel safe, while also slowing down adjacent traffic.
- **Sidewalk.** Providing a sidewalk of sufficient width to allow for comfortable seating and pedestrian traffic. Sidewalk life is the lifeblood of the Town.
- **Landscaping.** Providing landscaped buffers in sidewalks and bump outs at intersections, further separating pedestrians from vehicles.
- **Shade.** Provide shade trees, arcades, galleries, awnings and canopies to provide cover from rain and harsh temperatures.
- **Architecture.** Provide quality architectural detail in streetscape amenities and building facades to improve pedestrian interest. People want to walk next to buildings that are interesting to look at.
- **Vistas.** Provide views of dramatic vistas, further enriching the pedestrian experience.
- **Safety.** Design intersections to reduce walking distances, provide clearly marked crosswalks that are aligned with crosswalks, and provide automatic crosswalk signals. People need to feel safe as they cross the street.
- **Connections.** The more streets and cross block connections the better. Frequent streets create diversity through the mix of uses that they attract. The extension of streets as specified above in the Downtown Master plan is encouraged and required.



DOWNTOWN DAVIE IMPLEMENTATION PLAN



**Drainage Strategies**  
Drainage is a major factor that will affect the future of the Town of Davie. West of Davie Road, water retention will be handled on the town-owned Huck Liles properties. The properties will be engineered to store water under their surface and will serve as a shared water retention facility for future development in the study area. On the east side of Davie Road, the properties along the east side of SW 63rd Avenue can be assembled to create a green conveyor that will move water to L Lake. The lots should be used for duplexes or other housing types that will face the green.

**CRA Property**  
The Davie Community Redevelopment Agency has purchased and assembled parcels on the corner of Davie Road and Orange Drive. The site is a prime location and the new development will stand as a gateway to the Town of Davie. The building will have a mix of uses, with retail uses on the ground floor and offices and residential uses on the upper floors. The building will surround a parking structure that may be used for adjacent properties. This development can serve as a model for future development within the

**Huck Liles Properties**  
The Huck Liles properties are an important feature of the Town of Davie and are an asset to any future development. The construction of a new road along the east side of the greens will increase their presence. The road will give additional access to the properties along Davie Road and will help facilitate their redevelopment by allowing better traffic circulation among neighboring properties. In addition, buildings facing the new street will offer a better presentation to the rodeo grounds than will the backs of buildings.

**Davie Road Properties**  
The redevelopment of the properties along Davie Road will help to create a more vibrant downtown. By locating buildings close to the street and creating pedestrian-oriented building elements such as arcades and colonnades Davie Road can be made more comfortable for pedestrians and can serve as a main street for the Town. By introducing rear access, individual properties on Davie Road will be able to develop over time in a more street-oriented fashion.

**Town Hall**  
There are several sites that can be considered for a new town hall, should the need to choose a new site arise. However, redevelopment on its current site has many advantages, and is the most viable option. Existing structures on the site may remain and would be supplemented with additional buildings. The existing parking lot could continue to be used in the near future, however, the lot could be considered as a site for additional development.

**Connecting SW 67th Avenue**  
The Town of Davie should consider an additional north-south connection. This can be accomplished by connecting SW 67th Avenue to Orange Drive using the existing right-of-way. The new road will act as the western edge of Davie's downtown and will help to ease traffic on Davie Road. Smaller blocks along the east side of this new road will allow improved access into and out of the downtown. Decreased pressure on Davie Road will facilitate its transition to a main street.

**Reserve Civic Sites**  
Civic buildings and spaces are very important to a community. They help to establish a sense of place and permanence as well as create a buzz of activity near them. In addition to keeping town hall within the heart of town, additional civic sites should be created in the downtown. A museum or library are possible uses but there are many other options. The Downtown Master Plan identifies a series of sites throughout the town a possible locations for civic uses.

**Provide Drainage Locations**  
To facilitate the increased development within the downtown, additional sites will need to be considered for water storage. The site next to the rodeo can be used as green space for rodeo related uses while also serving as underground water retention.

**Complete the Road Network**  
The framework of blocks and streets within downtown Davie is incomplete and does not allow for many options to and out of the downtown. By connecting existing roadways and adding additional streets, traffic can be more evenly dispersed throughout the downtown.



## ILLUSTRATIVE RENDERINGS



Intersection of Davie Road and Orange Drive



Infill development along the Huck Liles Property





Aerial view of hypothetical build-out of Downtown Davie



Proposed Davie Town Hall



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## II. Urban Standards

**A. Generally:** The following applies to all development:

### Setbacks

- Front Setbacks shall be 0', except when a stoop is provided, in which case the front setback shall be the width of the stoop, but shall not exceed 5'. In the case of an arcade, gallery or colonnade the front setback shall be determined by the requirements described on Page 5.3.
- The principal frontage shall be determined by the side of the building facing the more prominent street.
- Side setbacks shall be as shown, except where abutting a lot zoned or occupied solely residential, or land use plan designated solely residential, in which case it shall be 5' min. 10' max.
- Within the front, side and rear setback the following are permitted:
  - Landscaping
  - Lighting
  - Street furniture such as planter boxes, benches, & restaurant seating (that do not obstruct pedestrian movement).
  - Hitching posts, equestrian facilities and bike racks

### Building Frontage

- The area where the building faces the street and meets the sidewalk is generally referred to as the building frontage. It is here that interaction occurs between people on the sidewalk and businesses. The three main reasons for controlling frontage are:
  - To define the edge of the street, establishing a sense of enclosure.
  - To ensure a high level of pedestrian interest through continuous and visually interesting facades close to the sidewalk that allow the pedestrian to view inside, and those inside to monitor the sidewalk and the street.
  - To increase commerce by supporting a high level of pedestrian activity along the street.
- The permitted frontage types are the arcade/gallery, shopfront, porch, awning/marquee and stoop. Their requirements, including minimum depths and allowable encroachments into the right-of-way for frontage types are found on pages 5.2 - 5.4.
- All retail, office, or mixed-use buildings shall have a sidewalk covered by an arcade/gallery, porch, or awning/marquee for the length of the frontage of the structure along the primary frontage. Arcades/colonnades and galleries are preferred and mandatory where on-street parking is available on primary frontages. Corner parcels are encouraged to also provide a covered sidewalk with a minimum width of 6'.

### Height

- A story is a habitable level within a building of no more than fourteen feet in height from finished floor to finished ceiling. Habitable attics and raised basements are not considered stories for the purposes of determining building height.
- Buildings are encouraged to be constructed to the maximum height and should reserve retail uses for the ground floor.

### B. Site Development & Intensity of Use Standards:

The following table contains all information related to site development and intensity.

Front Setback (from front property line)	0 ft 5 ft max. (for stoop frontages)
Rear Setback (min.) (from rear property line)	0 ft with a rear alley 10 ft when abutting residential
Side Setback	0 ft (from side property line) 0 ft (interior side yard)
Impervious Area	85% max. by right 95% max. with incentives
Density	Max. allowed by Comp Plan
Height	min: 2 stories/ 26' max: 4 stories/ 55' by right max: 5 stories/ 65' with incentives
Open Space	15% min. 0% with incentives
Building Frontage	Min. 65% at front property line Min. 75% on Davie Road.
Lot Width (min.)	20 ft (on interior lots) 20 ft (on corner lots)

### Minimum Dwelling Sizes for Apartments or Condos:

Efficiency/ Studio	500 sf
One bedroom	750 sf
Two bedroom	900 sf
Three bedroom	1,000 sf



**C. Schedule of Uses****a. RESIDENTIAL**

	P	NP
Single-Family Detached Dwelling		■
Accessory Unit to Detached		■
Single Family Attached Dwelling	■	
Accessory Unit to Attached	■	
Multifamily Dwelling	■	
Duplex House	■	
Family Day Care Home		■
Accessory Structure	■	
Live-Work	■	
Group Home	□	
Residential Care Facility	■	

**b. LODGING**

Hotel (no room limit)	■	
Inn (up to 15 rooms)	■	
Inn (up to 5 rooms)	■	
School Dormitory	■	

**c. OFFICE**

Office Building	■	
Live-work	■	

**d. COMMERCIAL**

Retail Uses allowed in B2	■	
Retail Building	■	
Adult Arcade	□	
Athletic Club / Gym	■	
Bakeries / Delicatessens	■	
Banks, financial	■	
Bar, Lounge	■	
Bingo Establishment	■	
Catering	■	
Dry Cleaning	□	
Game Room / Arcade	■	
Kiosk	■	
Movie Theater	■	
Night Club, Dance Hall	□	
Personal Services	■	
Repair Shop (ex. vehicle)	■	
Restaurant	■	
Studios (Art, dance, photo)	■	
Push Cart	■	

**e. OTHER: AUTOMOTIVE**

Gasoline Stations	*	
Automobile Service	*	
Drive -Through Facility		■
Car Wash		■
Car Rental Facility		■
Parking Lot Rental		■
Shopping Center		■

**f. OTHER: CIVIL SUPPORT**

Fire Station	■	
Police Station	■	
Municipal Buildings	■	
Municipal Public Services	■	
Other Government Buildings	■	
Cemetery		■
Funeral Home		■
Hospital	■	
Animal Hospital		■
Medical Clinic, Doctors Office	■	

**g. OTHER: INDUSTRIAL**

Light Industrial Facility		■
Water Supply Facility		■
Sewer and Waste Facility		■
Electric Substation		■
Cremation Facility		■
Large Storage		■
Mini-Storage		■
Wholesale Warehouse		■
Communications Apparatus		■
Cabinet / Carpentry Shop		■
Light Fabrication		■
Laboratory		■
Telecommunication Tower		■
M1 District Permitted Uses		
Distribution Facility		■

**h. OTHER: COMMERCIAL**

Recording Studio	■	
Motion Picture Studio		■
TV / Radio Station	□	
Auction House	□	
Bowling / Skating	■	

**i. CIVIC**

College	■	
High School	■	
Trade School	■	
Elementary School	■	
Childcare Center	□	
Public Park	■	
Private Club	■	
NCF District Permitted	■	
Library	■	
Community Center	■	
Museum	■	
Outdoor Auditorium	■	
Parking Structure	□	
Passenger Terminal		■
Playground	■	
Sports Stadium		■
Surface Parking Lot		■
Religious Assembly	■	

P - permitted

NP - not permitted

■ By Right

□ See Sec. 12-34 of the RAC LDRs, Detailed Use Regulations for conditions of use.

\*Permitted only at existing locations as of the date of adoption of these regulations.

**Regarding Uses**

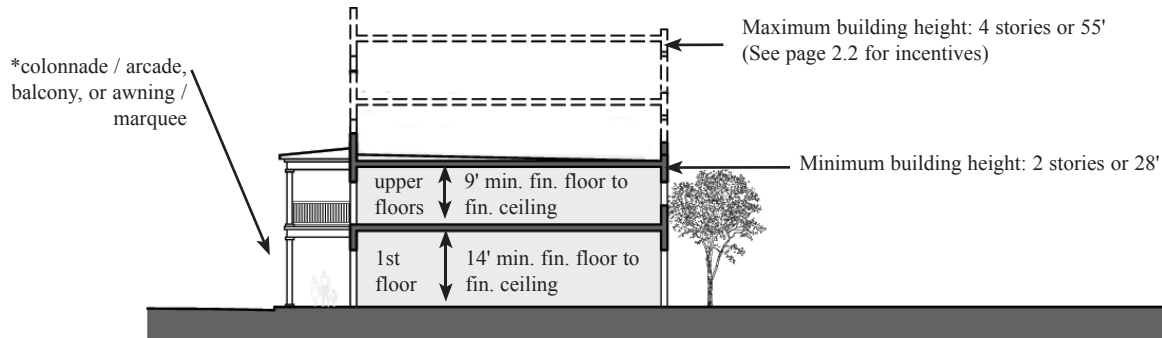
- All development is subject to the allocation of density and intensity in the future land use element of the adopted Comprehensive Plan.
- Residential use of property within the Western Theme District shall be encouraged. Residential uses shall be permitted pursuant to the Town of Davie Comprehensive Plan's appropriate land use category.
- Mixed-use development is referenced in this Manual as a combination of retail, office and residential uses.
- Lodging uses (i.e. motel and bed & breakfast) are uses to be permitted and encouraged.
- One principal building and one outbuilding may be built by right on each lot. Outbuildings may be up to 2 stories in height, but must not exceed the height of the principal structure. They must be located near the rear property line, and the second floor may contain only residential uses. The maximum commercial and residential use for each outbuilding cannot exceed 500 square feet for each use.



**D. Building Types:** The following pages describe the predominant building types allowed within the Western Theme District. Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and shall not imply that every element in the photograph is permitted.

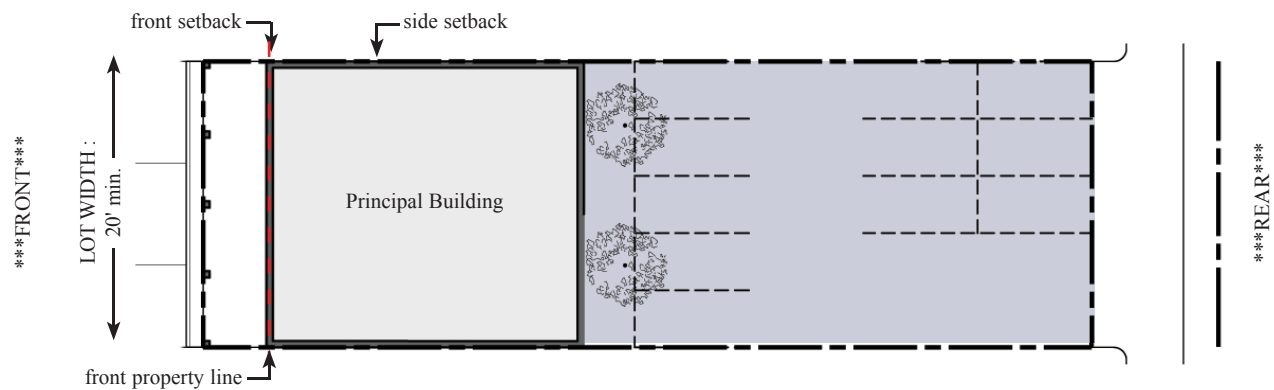
## Mixed-use, Commercial, or Office Building

### HEIGHT:



\*An awning / marquee, balcony, or colonnade/arcade is required - See pages 5.2 - 5.4 for requirements.

### BUILDING PLACEMENT:



- Parking shall only be allowed in the rear yard.
- Mechanical equipment shall only be allowed in the rear yard.

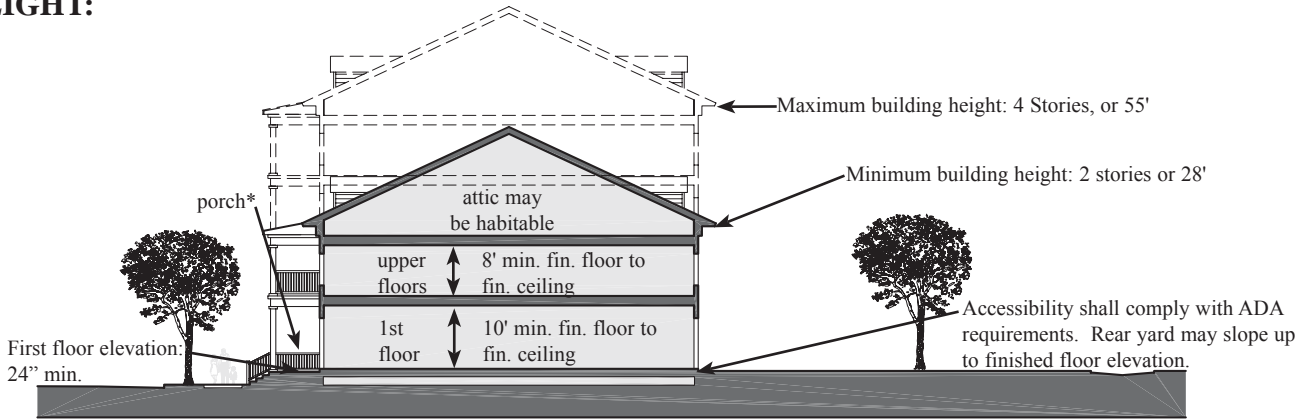
### PRECEDENT & CHARACTER EXAMPLES:





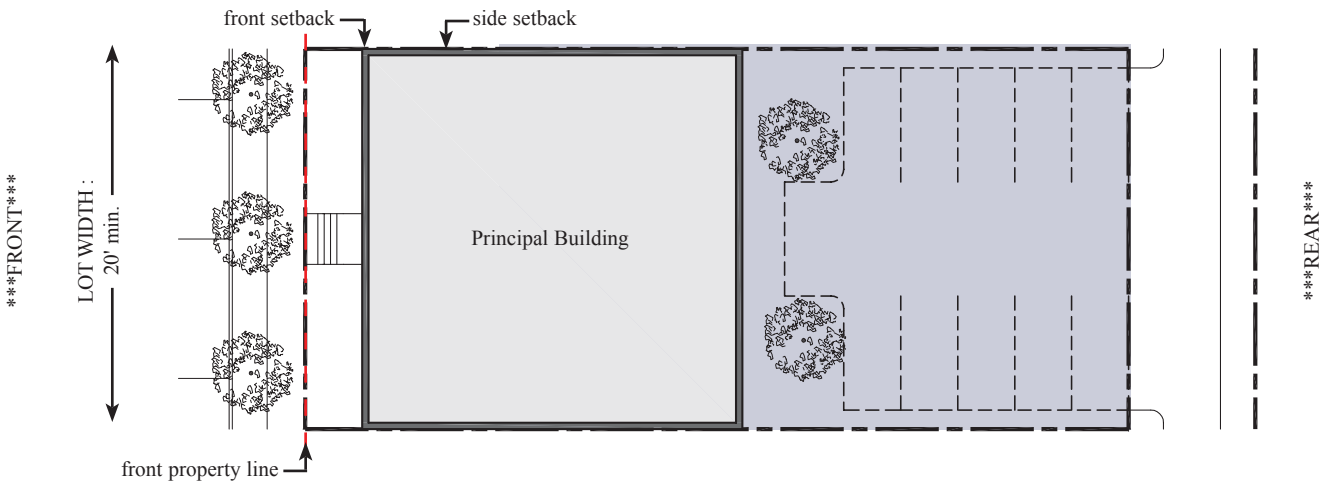
# Apartment Building

## HEIGHT:



\*A front porch, balcony, or stoop is required. See page 5.2 - 5.4 for requirements.

## BUILDING PLACEMENT:



- Parking shall only be allowed in the rear yard.
- Mechanical equipment shall only be allowed in the rear yard.

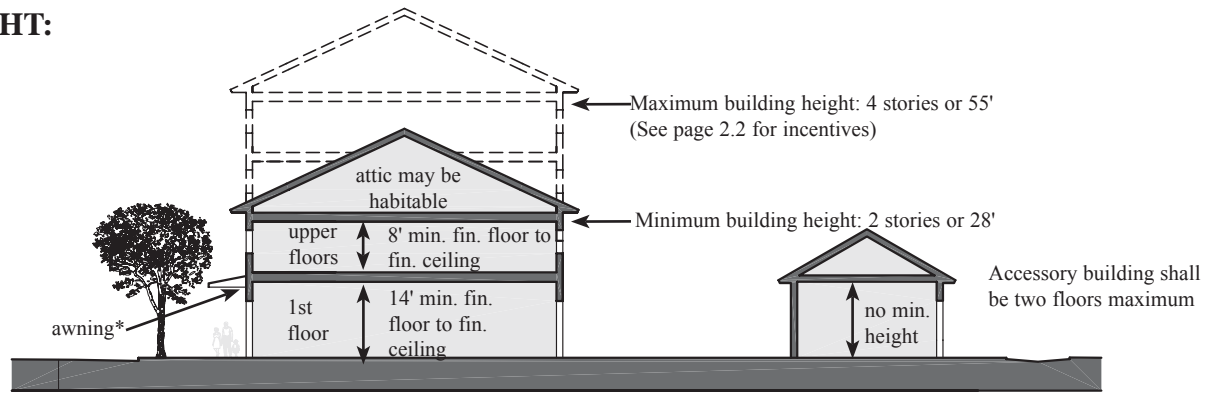
## PRECEDENT EXAMPLES:





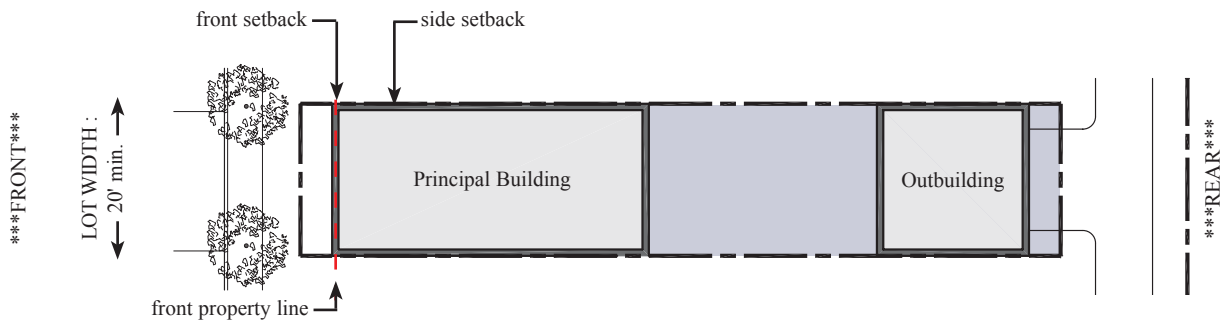
# Live/Work Building

## HEIGHT:



An awning/ marquee, balcony, or colonnade/arcade is required. See pages 5.2 - 5.4 for requirements.

## BUILDING PLACEMENT:



- Parking shall only be allowed in the rear yard.
- Mechanical equipment shall only be allowed in the rear yard.

## PRECEDENT EXAMPLES:

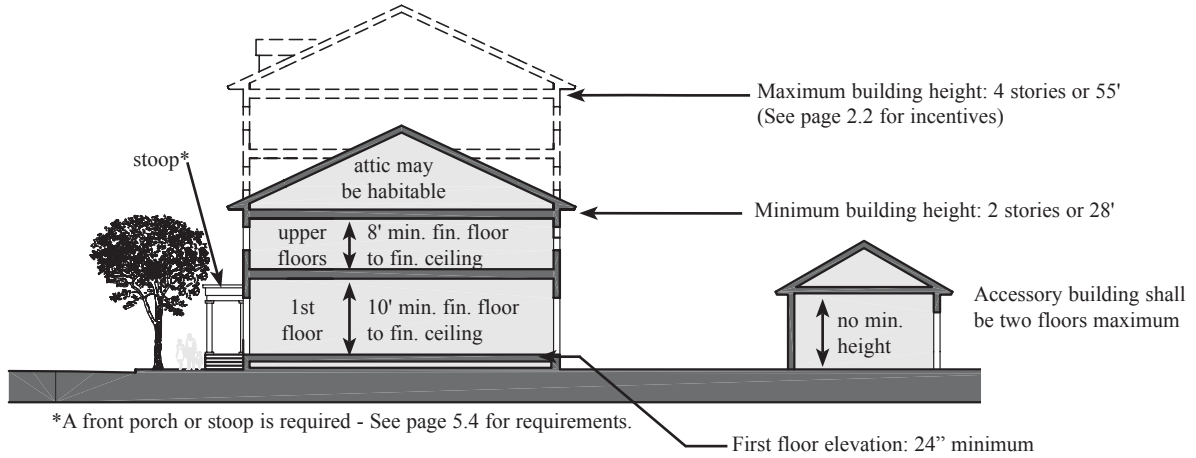


Notice the separate entrances for the storefront and apartment above.

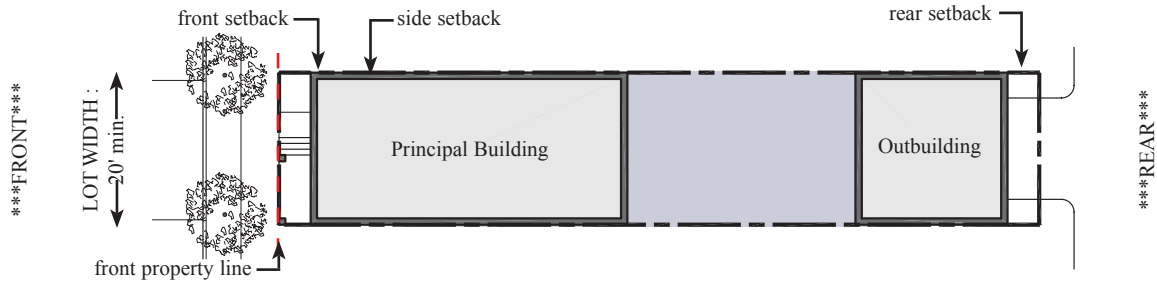


# Rowhouse

## HEIGHT:



## BUILDING PLACEMENT:



- Parking shall only be allowed in the rear yard.
- Mechanical equipment shall only be allowed in the rear yard.

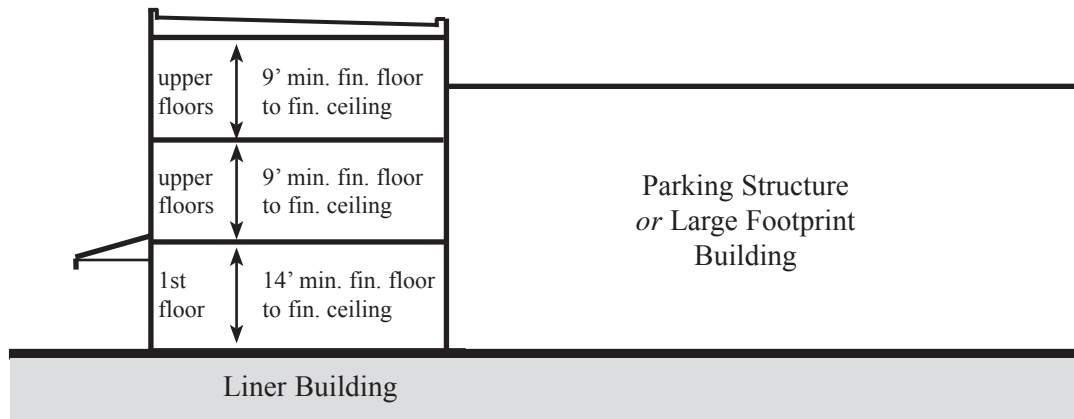
## PRECEDENT EXAMPLES:





# Liner Building

## HEIGHTS DIAGRAM:

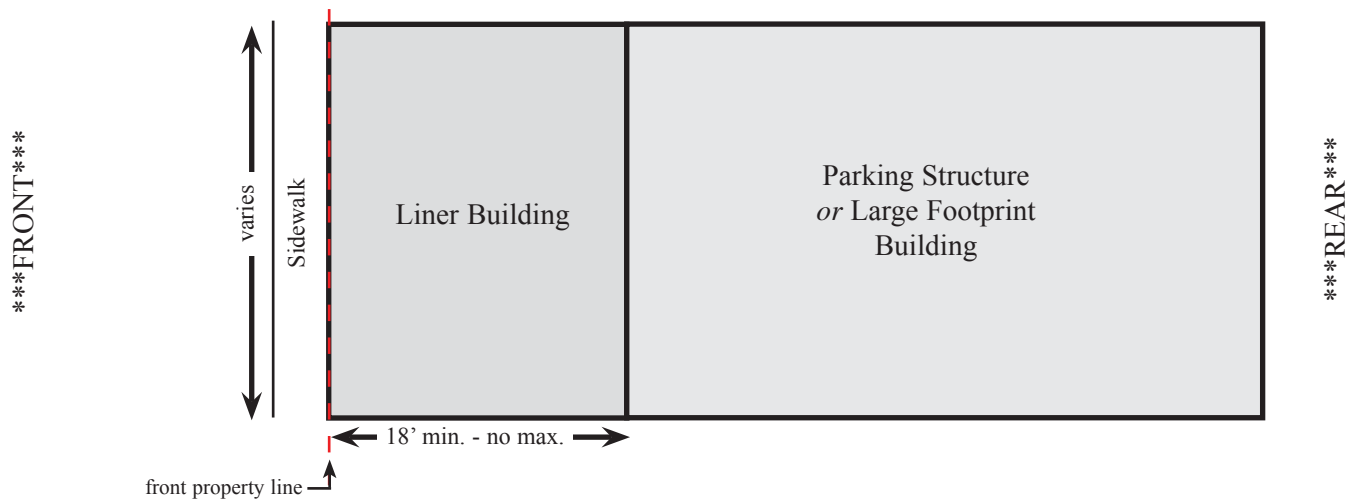


\*If 1st floor is **residential**: A front porch or stoop is required, and the first floor shall be 24" from grade..

\*If 1st floor is **commercial**: An awning/ marquee, balcony, or colonnade/ arcade is required.

See pages 5.2 - 5.4 for requirements.

## BUILDING PLACEMENT:

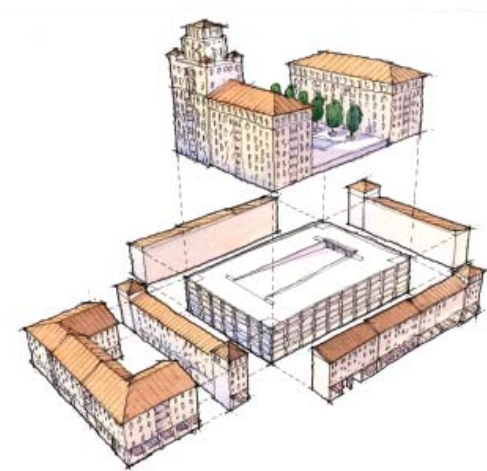


## PRECEDENT IMAGES:



Large footprint building

Liner building



## NOTES:

1. A Liner Building is used to shield the blank façade of a large footprint building or parking garage from view of pedestrians. It must be deep enough to have habitable space, and have doors and windows that face the sidewalk.

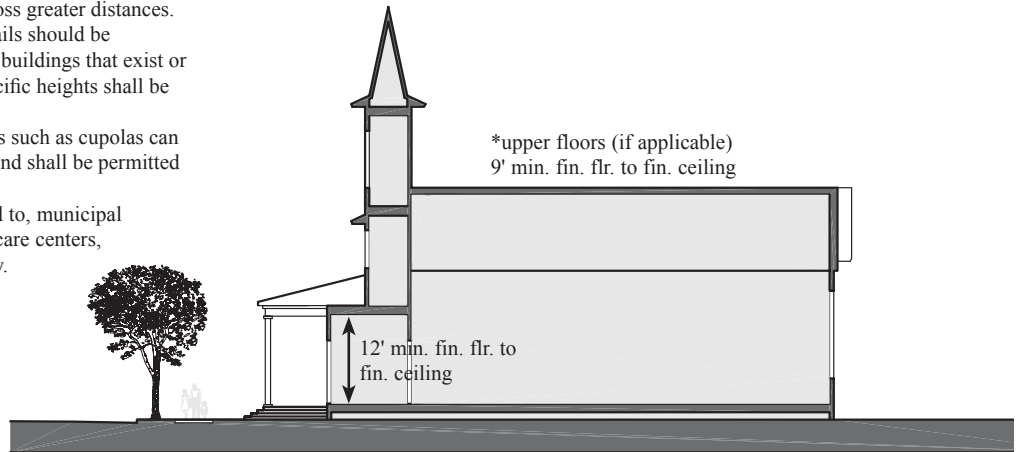
2. Residential, commercial, and office uses are permitted on Liner Building lots.



# Civic Building

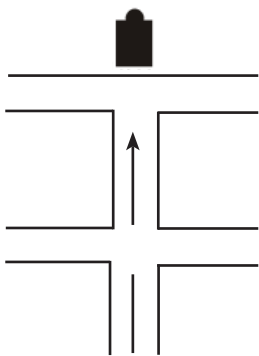
## HEIGHT:

- The scale of civic buildings should be larger than surrounding buildings in order to be more prominent and visible across greater distances.
- Floor-to-floor heights and architectural details should be proportionately larger than those of private buildings that exist or are anticipated within adjacent blocks. Specific heights shall be approved by the Town Council.
- Prominent roof forms and additive elements such as cupolas can visually extend the height of the building, and shall be permitted to exceed the designated height limit.
- Civic Buildings include, but are not limited to, municipal buildings, churches, libraries, schools, daycare centers, recreation facilities, and places of assembly.

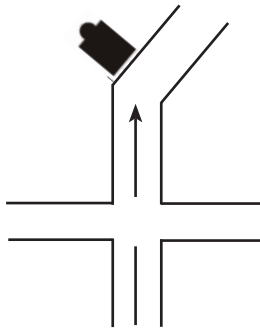


## BUILDING PLACEMENT:

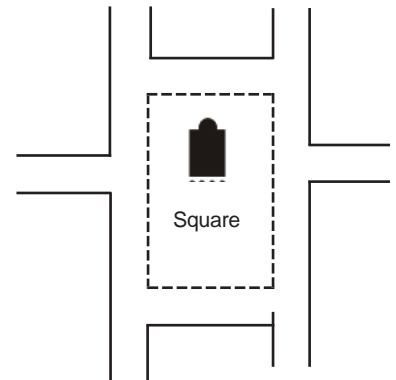
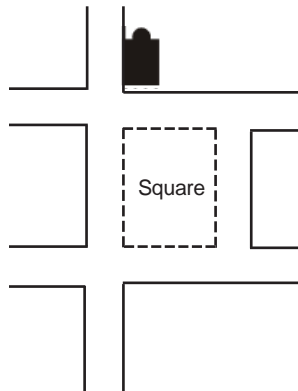
Building Placement Requirements for Civic Buildings vary by site. Setbacks and locations are as determined by the Town Council. In general, Civic Buildings should be sited in locations of particular geometric importance, such as anchoring a major public space, or terminating a street vista:



The Civic Building terminates the view of a street.



The Civic Building anchors the square at a prominent corner.



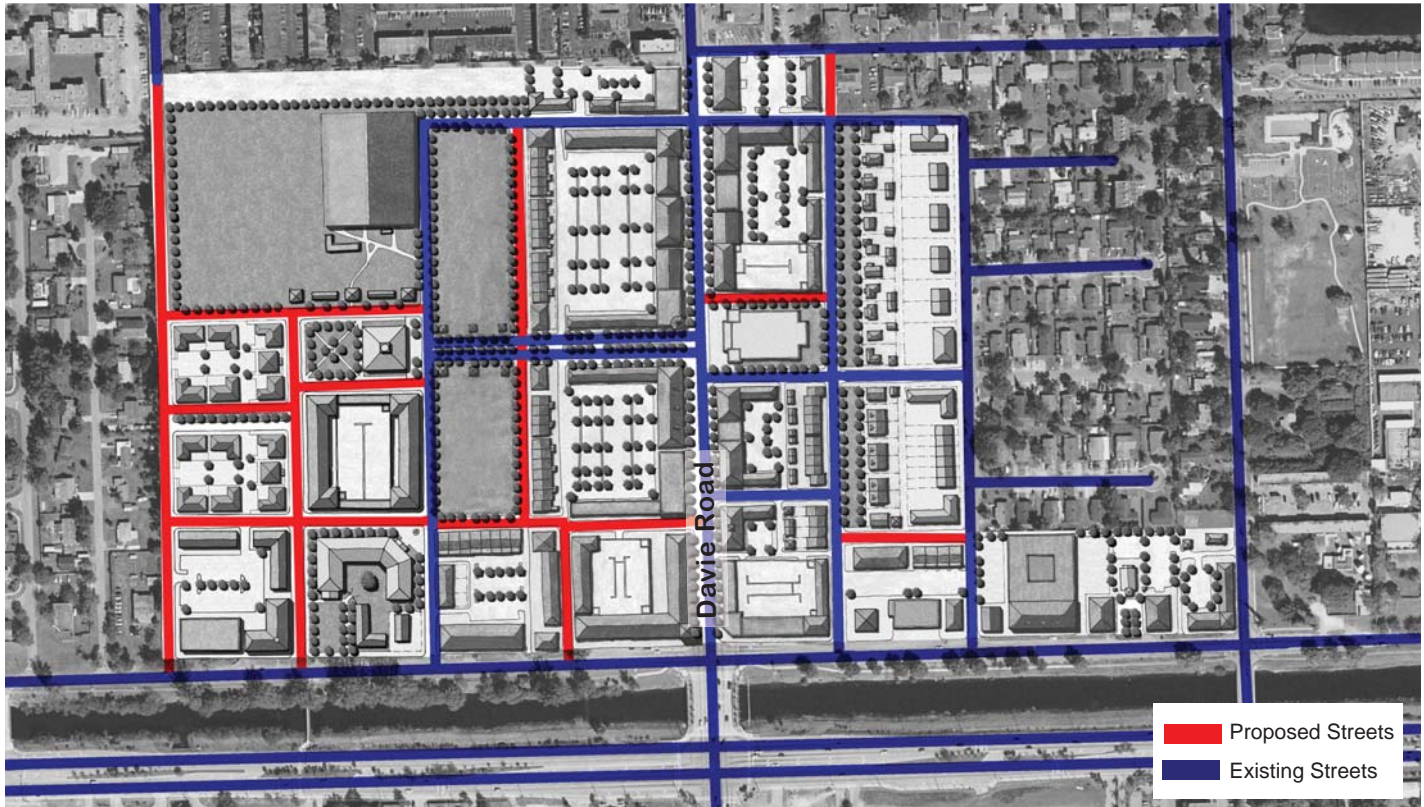
The Civic Building anchors the space from within the square.

## PRECEDENT & CHARACTER EXAMPLES:





### III. Street Standards



Street Network of Downtown Davie. This map shows the potential street network in Downtown Davie, and provides insight into how new connections can be made in other parts of the Western Theme District.

#### Intent & Principles

The public right-of-way should be envisioned as a primary place of activity. Using and invigorating the right-of-way along the street is the single most important element to redeveloping a pedestrian-friendly, multi-modal community. The right-of-way should incorporate vehicular, pedestrian and bicycle improvements. The plazas, sidewalks and crosswalks. A continuous, attractive and enjoyable pedestrian experience is the goal on primary and secondary streets.

All applications for development in the Western Theme Overlay District must include the design of street elements adjacent to the applicant's property. The Street Standards are meant as a guide for the applicant regarding how the sidewalk, tree planting and other elements relate to each other and create a vibrant pedestrian realm.

The public right-of-way serves the community by offering places for activities such as sidewalk seating, transit stops and street vendors. In order for a safe and comfortable pedestrian experience to be achieved shelter from the sun and rain is encouraged. Where appropriate, as indicated in Section 2, Urban Standards, the sidewalk should be covered by awning, umbrella, rooftop, 2nd story balcony, colonnade, or landscaping.

Pedestrian experience and amenities should be the priority when allocating funds for right-of-way improvement; no longer should right-of-way improvements be solely focused on the automobile. Building occupants are encouraged to add elements such as decorative pots, cafe seating, and awnings.

As parcels are subdivided, new streets are created or as existing streets are improved, the Town Council will make a determination as to what streetscape improvements will be required. New streets created will be based upon the typical street sections found in the Land Development Regulations.



**A. General Street Guidelines**

- All streets shall connect to form an interconnected street network; cul-de-sacs are prohibited. All new streets shall connect to existing streets or right-of-ways.
- Pervious pavers and extensive plant beds added to the public realm are encouraged to reduce storm water runoff.
- Shade trees and light surfaces shall be utilized to increase the urban tree canopy and reduce heat.
- Street vendors and cafe seating are encouraged.
- On-street parking is encouraged.
- The Town and private developers must coordinate and provide adequate seating and trash receptacles within the right-of-way.
- The principal building frontage must provide overhead cover in the form of awning/marquee, roof overhang, covered porch, arcade/gallery, or tree canopy to protect pedestrians.
- Several components must be integrated into the design of the right-of-way and buildings they are adjacent to, including: transit shelters, bicycle lockers, lighting, shade, street furniture, and directory signage.
- No structure or landscaping should impede pedestrian or bike circulation within the right-of-way.

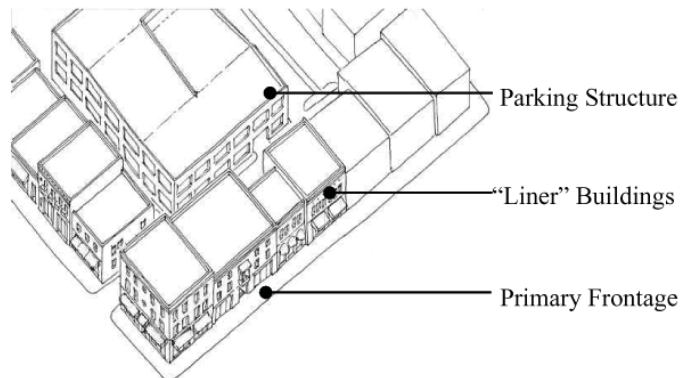
**B. General Parking Placement & Design**

These regulations shall supplement the parking regulations of the Town of Davie Zoning Code. Parking requirements for uses not described herein shall be in accordance with applicable district regulations, or as found in Article VII, section 208. The intent of these regulations is to de-emphasize parking lots from the public streetscape and to provide an environment conducive to pedestrian activity by locating parking lots and their access away from street frontages.

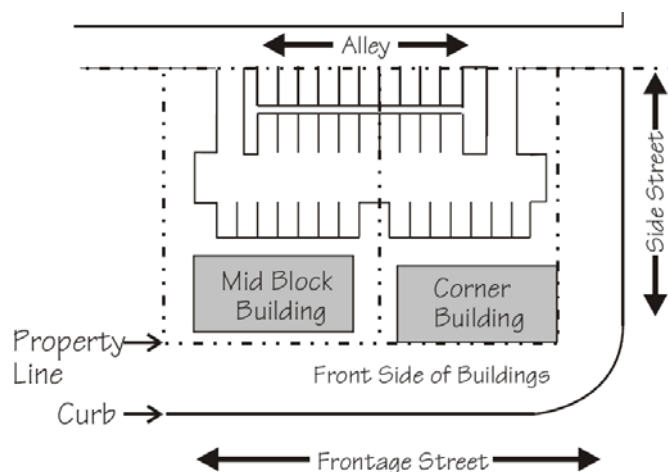
- **Alleys.** Rear alleys allow for a continuous building frontage with fewer vehicle-pedestrian conflicts. Alleys may be incorporated into rear parking lots as standard drive aisles.
- **Parking Lots and Garages.**
  - Parking lots and garages shall be located at the rear of the property (refer to Section II, Urban Standards).
  - Driveways are permitted at the front or side of the property only in the absence of a rear lane.
  - Corner lots are not to be used as parking lots.
- **Transit Connections.** The provision of strategically located peripheral public parking with transit, bicycle, and pedestrian connections are specifically encouraged.
- **Drive-thru.** Drive-thru service windows, including vehicular stacking lanes, are prohibited except in the rear and shall not be permitted within one hundred feet of a property zoned or occupied solely residential, or land use plan designated solely residential, provided that no drive-thru window or stacking lane is visible from a public right-of-way.

**C. Streetscreens & Liner Buildings:**

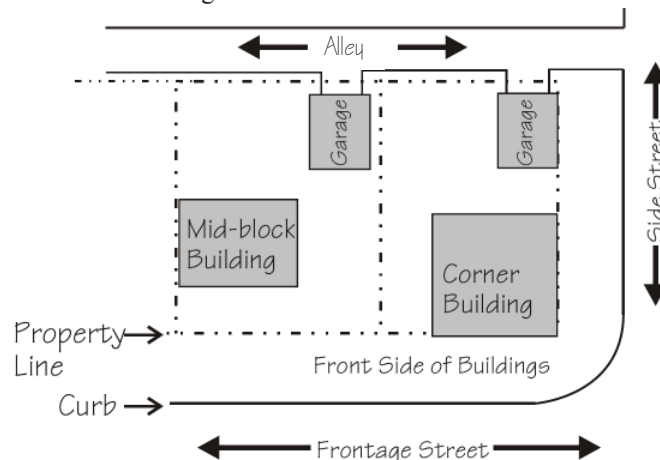
- Streetscreens shall be between three feet six inches and six feet in height and constructed of a material matching the primary building facade. All streetscreens over four feet high should be 30% permeable or articulated.
- Streetscreens may be a hedge or fence.
- Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access.
- **Liner Buildings.** Parking lots shall always be masked from the frontage by a liner building or streetscreen. Parking garages shall always be masked with a liner building. If inadequate lot width precludes a parking structure with liner building along a street, architectural solutions may be utilized, such as the creation of a false facade, subject to the approval of the CRA.
- Liner buildings shall be built along the full length of the street frontage and be no less than thirty feet deep and two stories, or 25 feet in height measured at the roof eave or parapet. When masking a parking garage the liner building can be attached or detached.



## Mixed-use Parking Access:



## Residential Parking Access:



## D. Access to Off-Street Parking

- Alleys or Rear Lanes, where present, shall be the primary source of access to off street parking. Parking along alleys may be head-in, diagonal, or parallel. Alleys may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the alley shall be maintained. Access between contiguous rear parking lots across property lines is also encouraged.
- Corner lots that have both rear and side access shall access parking through the rear (see diagram above).
- Circular drives are prohibited except for civic buildings. Garage door(s) shall be positioned no closer to streets, squares, or parks than twenty feet behind the principal plane of the building frontage. Garage doors facing streets, squares, or parks shall not exceed ten feet in width.
- All residential types shall only provide rear yard parking in the rear.
- Street level openings to parking structures may only occur on side streets and shall be minimized to accommodate necessary vehicular and pedestrian traffic only.
- Gates / ticket machines within any parking facility must allow for one vehicle to stack outside of the public right-of-way.
- When vehicular access is necessary within the street frontage the vehicular entrance of a parking lot or garage shall be no wider than twenty feet and will be limited to a single curb cut for access in and out. Two, one-way drives may be permitted if necessary for parking facility circulation.
- Additional driveways may be permitted for lots where sufficiently high trip generation requires extra driveways as determined by the Town Engineer.
- Driveways should be located along side property lines within shared access easements to encourage connection from adjacent properties. Under such circumstances, the minimum separation requirement between driveways and property lines shall be waived. The CRA may require easements for future shared driveway access.

## E. Connectivity of Parking Facilities

- Every rear parking facility shall be designed for connectivity to existing or future rear parking facilities on adjacent properties with the same frontage. This shall include the recording of cross-access and parking easements or agreements. The applicant shall use and be responsible for acquiring such access from adjacent property owners. This requirement may be waived by the town council when evidenced that the cross-access is not practical or when all means of acquiring such agreements with adjacent property owners have been exhausted.
- As redevelopment occurs, connections shall be made between rear parking lots on neighboring lots. This connectivity will reduce the need for curb cuts along the street, and allow for those driveways to be redeveloped for building frontage, paseos, or outdoor building space.
- In order to encourage existing developed lots to connect their rear parking facilities to those of adjoining lots, up to five percent of the required parking may be eliminated if logistically necessary to provide said connections. Parking facilities which are nonconforming as to required number of spaces by five percent or more shall not qualify.



## F. Parking Requirements

- Standard space dimensions: nine (9) feet in width and eighteen (18) in length. Spaces may be nine (9) feet by sixteen (16) with a two (2) foot overhang over curb or parking pad, however, such overhang space may not be counted toward open space requirements. Compact spaces shall not be permitted.
- Accessible Spaces shall be twelve (12) feet by eighteen (18) feet with a five (5) foot access way, except where two spaces abut each other, they may share the paved access way.
- Parallel spaces shall be eight (8) feet by twenty two (22) feet.
- Vehicular parking shall be provided as required and adjusted for mixed-use as stated in the sharing factor chart.
- Minimum parking requirements for several of the most common land uses are provided in the chart below.
- Within the Western Theme Overlay District on-street parking shall be required along any street with a right-of-way of fifty (50) feet or more. In addition, on-street parking is encouraged along any new streets developed in the District, especially those done according to the Downtown Masterplan. Such parking shall be so constructed as to provide the required sidewalk along the right-of-way that shall be curbed six (6) inches at the edge of the proposed parking space.
- The pavement of the on-street parking shall match the existing pavement of the roadway in a smooth fashion and shall not obstruct or impede drainage patterns nor permit ponding or flooding.
- A five (5) foot minimum sidewalk shall be provided at the edge of the right-of-way.
- On-street parking along lot frontage lines shall be counted toward the parking requirement of the building lot.

Use	Required Spaces
<b>Residential (efficiency)</b>	1.5 / dwelling
<b>Residential (1 bedroom)</b>	1.5 / dwelling
<b>Residential (2 -3 bedroom)</b>	2.0 / dwelling
<b>Office</b>	2.5 / 1000 sq. ft.
<b>Retail</b>	3.0 / 1000 sq. ft.
<b>Restaurant</b>	1.0 / 75 sq. ft. dining area; 1.0 / 350 sq. ft. non-dining
<b>Hotel</b>	1.0 / 1,000 sq. ft.
<b>Showroom / Warehouse Retail</b>	2.0 / 1,000 sq. ft.
<b>Healthcare</b>	3.0 / 1000 sq. ft. + 2.0 / bed

\*2.0 spaces are required for principal dwellings;  
1.0 spaces are required for ancillary dwellings.

## G. Off-site Parking

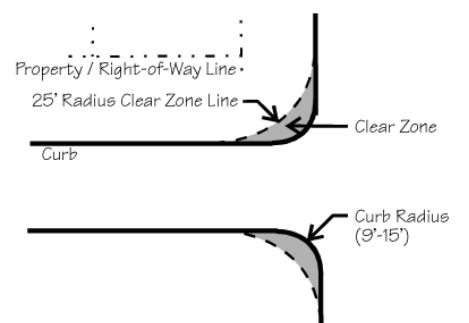
- Off-site parking facilities are permitted within one-quarter mile (1320') of the site that it serves. A maximum of 40% of the required parking can be provided off-site where cross access parking agreements are executed or if public parking is available. The required parking may be purchased or leased from a civic parking reserve within one-quarter mile of the site that it serves. The applicant must demonstrate to the Planning and Zoning Division staff the adequacy of the available permitted parking. In the case of a cross-access parking agreement, the owner of the off-site parking facility shall enter into a written arrangement with the CRA, whereby the land providing the parking area shall never be sold or disposed of except in conjunction with the sale of the building the parking area serves so long as the off-site parking facilities are required. Said agreement shall be recorded at the expense of the owner and shall run with the land to bind the heirs, successors and assigns of said owner. Said written agreement may be voided by CRA administrator if other provisions are made for off-street parking facilities. If the off-site parking facility is more than one-quarter mile from the development site then transit service with a maximum fifteen minute headway between the parking facility and development must exist or be planned with committed funding within five years of issuance of a building permit for the development site.

## H. Shared Parking & Parking Discounts

- Refer to Pages 54-56 of the LDR for shared parking and parking discount guidelines.

## I. Corner Radii and Clear Zones

- Corner curb radii shall be between 9 feet and 15 feet. Fairly tight turning radii shorten pedestrian crossings and inhibit reckless drivers from turning corners at high speeds. To allow for emergency vehicles (e.g. fire trucks) to turn corners, a 25 foot radius Clear Zone shall be established free of all vertical obstructions such as telephone poles, sign poles, fire hydrants, electrical boxes, or newspaper boxes, etc. Wheelchair accessible ramps will be provided at intersections within the Clear Zone for disabled access.



## V. Architectural Standards

These standards apply to building and site components that are visible from the adjoining streets or public spaces. Exemptions from compliance with these regulations may be granted on the basis of architectural merit by the CRA. The Town Council reserves the right to reject any design for architectural inappropriateness and to waive strict compliance to architectural standards on the basis of architectural merit.

### A. Special Building Elements & Appurtenances

These rules apply if any of the following special elements are included in a building design. Refer to Section II, Urban Standards for requirements by building type.

1. Awnings / Marquees
2. Balconies
3. Colonnades / Arcades
4. Small Footprint Towers / Cupolas
5. Front & Side Porches
6. Stoops

### B. Architectural Elements

Contains general requirements, permitted finish materials and configurations for the following:

1. Building Walls
2. Columns, Arches, Piers, Railings & Balusters
3. Windows & Doors
4. Doors & Shopfronts
5. Shutters
6. Opacity & Facades
7. Roofs
8. Cornice, Soffit & Frieze
9. Garden Walls, Fences & Hedges
10. Solar Design Features
11. Outdoor Dining
12. Paint Types and Colors
13. Signage
14. Minimum Brick Detailing
15. Dormers
16. Chimneys
17. Outdoor Lighting
18. Skirting & Underpinning

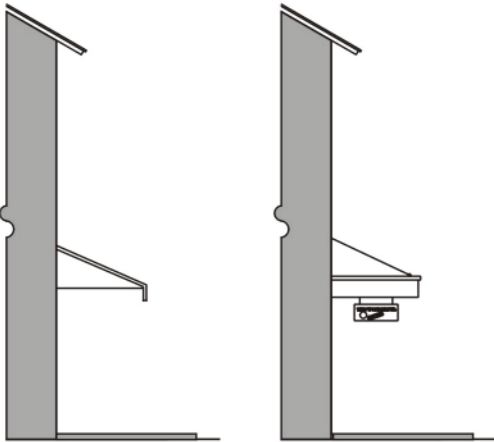
### C. Architectural Style

The predominant architectural style in the Western Theme shall be the Western Vernacular. It is representative of buildings constructed in the western United States in the late 1800's as well as compatible Florida vernacular structures of the early pioneers. It is not the intent of the guidelines to recreate buildings with historic accuracy, but to create an overall architectural consistency representative of Davie's unique character. Additional styles may be approved at the discretion of the CRA.



## A. Special Building Elements and Appurtenances

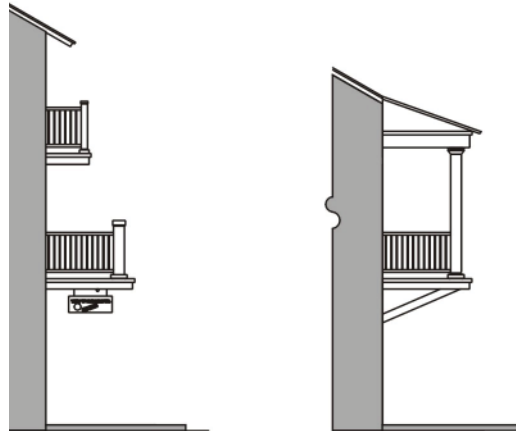
### 1. Awnings / Marquees



Depth = 5 feet minimum  
Height = 8 feet minimum clear.  
Length = 85% to 100% of Building Front required for Mixed-use Buildings.

- The above requirements apply to first-floor awnings. There are no minimum requirements for awnings above the first floor.
- Marquees and Awnings shall occur in the front setback, and encroach into the right-of-way.
- Awnings shall be made of fabric or metal. High-gloss or plasticized fabrics are prohibited.
- Awnings may not have side panels, and may not be backlit. Awnings may not be quarter-spherical (or similar) in shape.

### 2. Balconies

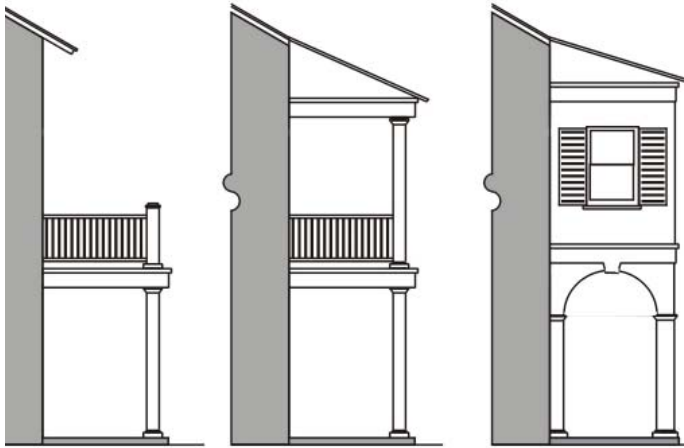


Depth = 6 feet minimum for 2nd floor balconies on Mixed-use buildings; 3 feet minimum for residential.  
Height = 10 feet minimum clear, 7 feet 6 inches for brackets.  
Length = 25% to 100% of Building Front required for Mixed-use Buildings.

- Balconies shall occur in the front setback, and may encroach into the right-of-way.
- Balconies shall be permitted to have roofs, but are required to be open, un-airconditioned parts of the buildings.
- On corners, balconies shall be permitted to wrap around the side of the building facing the side street.



### 3. Colonnades, Arcades & Galleries

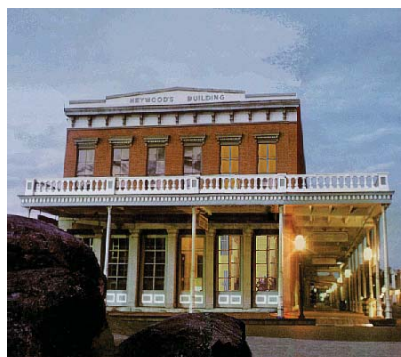


Depth = 10 feet minimum for gallery; 10 feet minimum for arcade. Depth is measured from face of building to inside column face. 2' from outside column face to curb.

Height = 10 feet minimum clear.

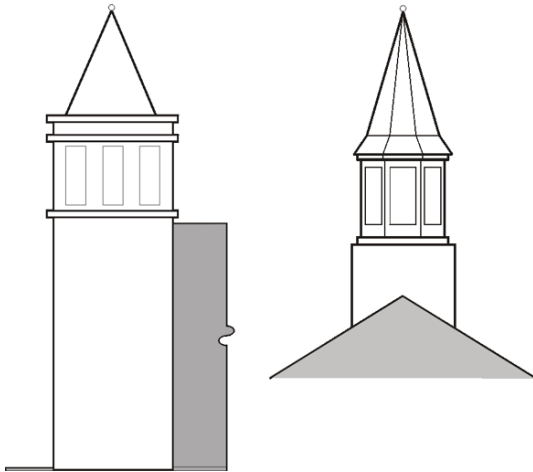
Length = 85-100% of Building Front required for Mixed-use Buildings.

- Colonnades shall only be constructed where the minimum depth can be obtained. Colonnades shall occur in the front setback, and extend to within two feet of the curb.
- Open multi-story verandas, awnings, balconies, and enclosed usable space shall be permitted above the colonnade.
- On corners, colonnades shall be permitted to wrap around the side of the building facing the side street.



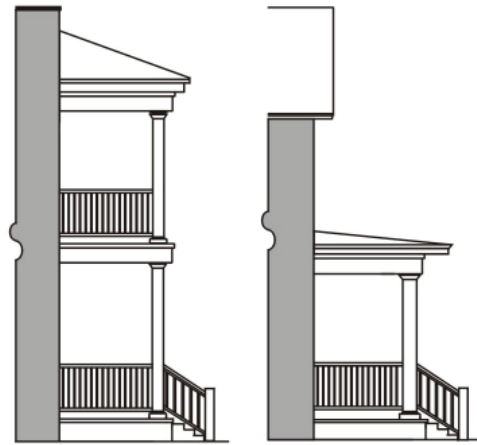


#### 4. Small Footprint Towers / Cupolas



Plan Area = 20 feet by 20 feet maximum footprint  
Height = If footprint is greater than or equal to 150 square feet, then the tower / cupola may extend a maximum of one story above the designated height limit. If footprint is below 150 square feet, then there is no height limit.

#### 5. Front & Side Porches



Depth = 8 feet minimum clear.  
Length = 25% minimum of building front.  
= 25% minimum of building side for side or wrap-around porches.  
Height = 24" minimum from grade to top of stairs; 60" maximum.

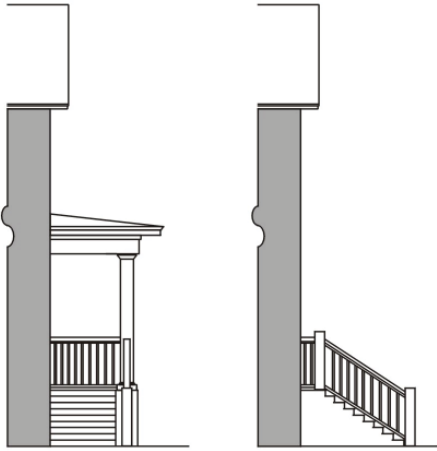
Front and Side Porches may have multi-story verandas and/or balconies above.

Front Porches shall occur in the front setback.

Front and Side Porches may be screened; however, if screened, all architectural expression (columns, railings, pickets, etc.) must occur on the outside of the screen (facing the street or public space).



## 6. Stoops



Depth = 4 feet minimum.

Length = 10% to 25% of building front.  
(length does not include stairs)

Height = 24" minimum from grade to top of stairs  
60" maximum.

Stoops are permitted and shall occur in the front setback. Stoop stairs may run to the front or to the side. Sidewalks shall have clear access for pedestrians. Stoops may be covered or uncovered.

**\*Front Porches and Stoops** shall not be built within six inches of the side property line on attached unit types.





## B. Architectural Elements

The lists of permitted materials and configurations come from study of traditional buildings found in the western United States, and have been selected for their appropriateness to the visual environment and climate.

A primary goal of the Architectural Standards is authenticity. The Standards encourage construction which is straight forward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The CRA shall have authority to approve substitute materials for those listed as options under the Architectural Standards. Such other materials shall be architectural and proportionally correct, but shall not be used on Civic Buildings. As an additional reference for architectural standards, refer to *Traditional Construction Patterns*, by Stephen Mouzon (McGraw Hill, 2004).

General Requirements:

The following shall be located only in rear yards or sideyards not facing side streets:

- Window and wall air conditioners;
- Air conditioning compressors;
- Electrical or gas utility meters;
- Transformers;
- Solar Heaters
- Irrigation and pool pumps.

The following shall be located in rear yards only and shall not be visible from public rights of way:

- Antennas;
- Permanent barbecues;
- Satellite dishes;
- Clotheslines.

The following are prohibited in any location:

- Undersized shutters (the shutter or shutters must be sized so as to equal the width required to cover the window opening);
- Shutters made of plastic;
- Reflective and/or bronze-tint glass;
- Plastic or PVC roof tiles or wall siding;
- Backlit awnings;
- Glossy-finish awnings;
- Exposed cell phone towers;
- Fences made of chain link, barbed wire, razor wire, vinyl, plain wire mesh, or coated chain link. (These may be permitted only by special approval by the CRA, and are encouraged to be concealed by a hedge or other landscaping.);
- Flat exterior mullions;
- K style gutter systems;
- Synthetic stucco (EIFS).

# 1. Building Walls

## General Requirements:

*Required for all buildings:*

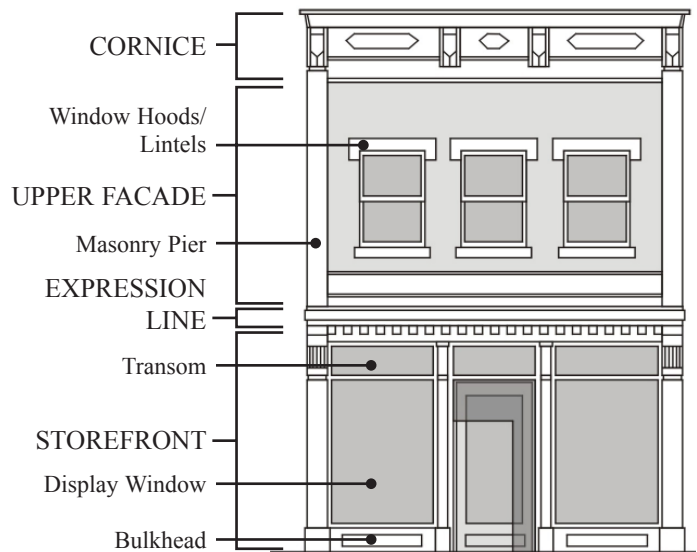
- Exposed foundation walls or piers (below the first floor elevation) shall be concrete (C.B.S. or reinforced, with stucco), brick, or natural / manufactured stone. Spacing between piers shall be covered by decorative lattice and landscaping.
- Building wall materials may be combined on each facade only horizontally, with the heavier (Stone, Brick, Concrete with Stucco, etc.) below the lighter (Wood, Siding, etc). The change in material shall preferably occur at the floor level; the sill level is also acceptable.

*Required for all mixed-use, retail, or office buildings:*

- An expression line shall delineate the division between the first story and the second story. A cornice shall delineate the tops of facades. Expression lines shall either be moldings extending a minimum of two inches, or jogs in the surface plane of the building wall greater than two inches. Cornices shall extend a minimum of six inches from the building wall.

## Permitted Finish Materials:

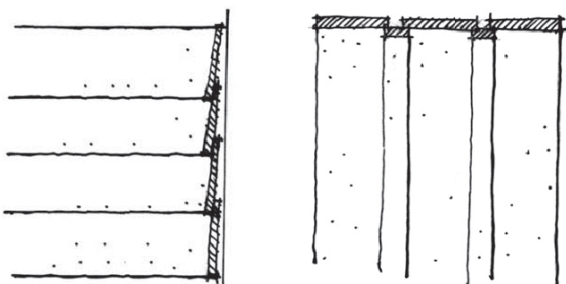
- Generally, mixed-use and attached building types should be of masonry construction; detached building types should be of frame construction.
- Permitted Materials:
  - Brick (refer to Page 5.18, Minimum Brick Detailing);
  - Stucco over concrete masonry units (C.B.S.) or reinforced concrete;
  - Stone (natural; manufactured stone as approved by the CRA).
  - E.I.F.S., Fiberglass (as cornice material), and composite materials: must be located out of reach of pedestrians and must visually appear to have a hand troweled finish.
  - Wood siding (termite resistant or treated), including shingle, clapboard, and vertical board and batten;
  - Smooth finish composite siding (Hardiplank) as approved by the CRA.
- Wherever possible, LEED certified or other green building materials shall be used in the construction of building walls, including siding composed of reclaimed or recycled material, salvaged masonry brick or block, and locally-produced stone or brick.



Attached Buildings (masonry preferred):



Detached Buildings (frame preferred):



Beveled horizontal wood siding.

Wood board & batten



## 2. Columns, Arches, Piers, Railings, Balusters

### General Requirements:

- Column Spacing:  
Columns shall be spaced no farther apart than they are tall. Piers shall be placed directly below the columns or posts which they support. Classical stone and wood column proportions shall be consistent with those found in the *American Vignola: A Guide to the Making of Classical Architecture*, by William Ware.
- Brackets are encouraged.

### Permitted Finish Materials:

- Columns:
  - Wood (termite resistant), painted or natural;
  - Metal;
  - Concrete with smooth finish;
  - Stone;
  - Brick (refer to Page 5.18, Minimum Brick Detailing).
- Arches, Lintels, and Sills:
  - Stucco over concrete masonry units (C.B.S.) or reinforced concrete;
  - Brick (refer to Page 5.18, Minimum Brick Detailing);
  - Stone.
- Piers:
  - Stucco over concrete masonry units (C.B.S.) or reinforced concrete;
  - Brick (refer to Page 5.18, Minimum Brick Detailing);
  - Stone.
- Railings & Balusters:
  - Wood (termite resistant), painted or natural;
  - Wrought iron or metal

### Permitted Configurations:

- Columns (excluding metal):
  - Square, 6" minimum, with or without capitals and bases;
  - Round, 6" minimum outer diameter, with or without capitals and bases;
  - Classical orders.
- Arches (excluding metal): Semi-circular & Segmental.
- Piers: 8" minimum dimension.
- Railings & Balusters:
  - Top Rail: 2 3/4" inch minimum diameter;
  - Balusters: 4" o.c. spacing minimum, 6" o.c. spacing maximum.

Columns:



Arches, Lintels, Sills:



Piers:

Railings & Balusters:



### 3. Windows, & Doors

#### General Requirements:

- Window openings shall be oriented vertically (taller than they are wide); common proportions for window assemblies include 3x6 or 4x8 (this may include transom).
- Doors and windows that operate as sliders are prohibited on principal frontage.
- Transom windows are strongly encouraged over doors.
- Masonry Construction: A header and sill are required for all windows that are not located in a shopfront (refer to Page 5.18, Minimum Brick Detailing).
- The following accessories are permitted: Shutters (operable only), Wooden Window Boxes, Muntins and Mullions, Fabric or Metal Awnings (no backlighting; no glossy-finish fabrics), Sliding or hinged (awning-style) sun screens.
- Mullions shall be dimensional on the exterior. True divided lites are encouraged.

#### Permitted Finish Materials:

- Windows: Wood, Aluminum, Copper, Steel, Clad Wood;

#### Permitted Configurations:

- Windows: Rectangular, Square, Round (eighteen inch maximum outer diameter), Semi-circular, Transom, Sidelite;
- Window Operations: Casement, Single-, Double-, and Triple-Hung, Fixed Frame (thirty-six square feet maximum);



#### Window Precedents:





## 4. Doors & Shopfronts

### General Requirements:

- The primary entrance to all buildings shall be located on the exterior wall facing the frontage street.
- Doors and windows that operate as sliders are prohibited where visible from public rights-of-way.
- Transom windows are strongly encouraged over doors.
- The following accessories are permitted: Shutters (operable only), Wooden Window Boxes, Muntins and Mullions, Fabric or Metal Awnings (no backlighting; no glossy-finish fabrics), Sliding or hinged (awning-style) sun screens.
- Mullions shall be dimensional on the exterior. True divided lites are encouraged.
- Storefronts: Large display windows are permitted. They should be composed of individual units of square or rectangular proportions. The large glass should be subdivided with raised muntins. Storefront windows should not extend below a minimum of 2'-0" above the finished floor.
- Exterior hardware should approximate simple wrought iron hardware. Other types require CRA approval. Hardware made from plastics is not permitted. Hinges should be simple butt hinged with round headed pins.
- Storefront windows shall not be covered or blocked in any way so as to block the interior from pedestrian view.

### Permitted Finish Materials:

- Storefronts: Wood, Aluminum, Copper, Steel, Clad Wood;
- Doors: Wood or Metal.

### Permitted Configurations:

- Door Operations: Casement, French.

## 5. Shutters

Shutters are an important vernacular building feature. They provide privacy, yet allow breezes to pass through the house. They shade windows from sun, and protect them from rain while at the same time providing a decorative visual element. Shutters are encouraged, and when used, must be sized to match openings.

Shutters shall be hinged and operable. Single-hinged, double-hinged, or Bermuda-type shutters are acceptable. Shutters may be louvered, paneled, board and batten, or plank construction used with shutter dog of typical "S" design. Shutters shall be constructed of a durable wood. Other materials, such as vinyl, plastic, aluminum, polystyrene and metal are not permitted.

### Window Precedents:



## 6. Opacity & Facades

### General Requirements:

- Each floor of any building facade facing a street, park, or square shall contain transparent windows covering from 20% to 70% of the wall area.
- Openings above the first story shall not exceed 50% of the total building wall area of each story.

### Retail storefront areas only:

In order to provide clear views of merchandise in stores and to provide natural surveillance of exterior street spaces, the ground floor along the building frontage shall have untinted transparent storefront windows and / or doors covering no less than 50% of the wall area. Low emissivity glass with high visual light transmittance may be permitted. Top of storefront window sills shall be between one and three feet above sidewalk grade. Storefronts shall remain unshuttered at night and shall provide clear views of interior spaces lit from within. Doors or entrances for public access shall be provided at intervals no greater than fifty feet, unless otherwise approved by the CRA.

### Facade Transparency Study:





## 7. Roofs

### General Requirements:

- Permitted Roof Types: Gabled, hipped, and shed. Applied mansard roofs are not permitted.
- Commercial, mixed use and attached residential buildings usually have a flat or low pitched roof that is hidden along the street façade behind a parapet or cornice.
- Main roofs should be simple with slopes between 4/12 and 12/12, when not hidden behind a parapet or cornice.
- Roof overhangs are required on pitched roofs and shall extend a minimum of two feet from the building wall, to provide passive cooling.
- Exposed rafter ends (or tabs) at overhangs are strongly recommended for the more rural vernacular styles.
- Exposed brackets at wide eaves are encouraged.
- Over covered sidewalks, shed roofs should have a slope between 3/13 and 6/12, and be supported by the building wall on one side and a column and beam element on the other. The underside of the shed roof should be left exposed to reveal the structure.
- Downspouts are to match gutters in material and finish.



### Permitted Finish Materials:

- The following colors are strongly encouraged: silver, dark brown, red, green, copper.
- Metal: Galvanized, Galvalum, Aluminum, Zinc-Alum.
- Shingles: Wood, Slate, Composite slate, Stamped metal, Composite Concrete.
- Gutters: Copper, Aluminum, Galvanized Steel.
- Wherever possible, LEED certified or other green building materials shall be used in the construction of roofs, including recycled content materials or those with long life cycles.



### Permitted Configurations:

- Metal: Standing Seam (twenty-four inch maximum spacing, panel ends exposed at overhang), 5V crimp, Corrugated Metal;
- Shingles: Square, Rectangular, Diamond;
- Gutters: Rectangular section, Square section, Half-round section.

downspouts  
match gutters



## 8. Cornice, Soffit & Frieze

The cornice, soffit and frieze follow precedent with large overhangs to provide shade and protect building surfaces from weather. The following details shall be considered in design: The size of the overhang, detailing and depth of the cornice, soffit, and frieze should be in proportion with the design of the structure. Rafter tails may be cut into a variety of decorative profiles. Enclosed cornices should be finished with crown and bed moldings. Soffits should be finished with beaded or v-groove tongue & groove. The soffit, on an enclosed cornice, should be trimmed with a small crown or bed & cove mold at the frieze.

Simple brackets that support overhanging eaves can be found within the Florida vernacular. Frieze boards should project beyond the siding material. When exposed rafters are used, it is important that vented blocking be provided between the rafters. Continuous venting in enclosed soffits with aluminum vents is permitted on new construction, but it is recommended that it be less than 3" wide and is disguised in the soffit to the extent feasible. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing.



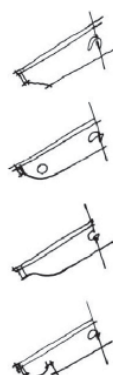
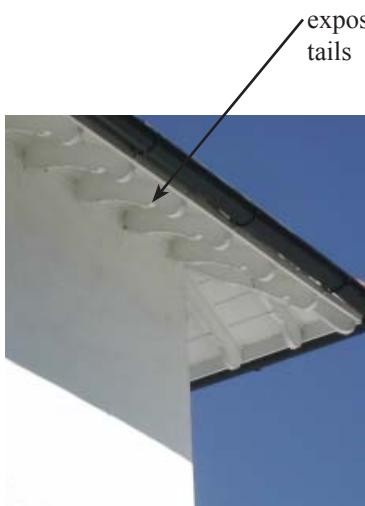
Exposed rafter tails with 1x4 board



Boxed soffit with crown molding over 1x8 fascia



Enclosed rafters with 1x4 over 1x8 fascia



end cut details for exposed rafters

Cornice hiding a low pitched or flat roof.



Roof Bracket Details:





## 9. Garden Walls, Fences & Hedges

### General Requirements:

- Fences, garden walls, or hedges are recommended along all un-built rights-of-way which abut streets and rear lanes as shown in the diagram below. Fences, garden walls, or hedges are encouraged along Side Yards (behind the front plane of the primary structure), and Rear Yards. Fences, garden walls and hedges shall be minimum 25% opaque. When fences, garden walls, or hedges occur, they must follow the below requirements.

### Height :

- Front Yard (first layer): maximum height of 42", minimum height of 24". Pillars and posts may extend farther.
- Rear Yards and Side Yards (in the second and third layers): minimum height of thirty-six (36) inches, maximum height six (6) feet.
- Adjacent to Alleys: minimum height of sixty (60) inches, maximum height of six (6) feet.

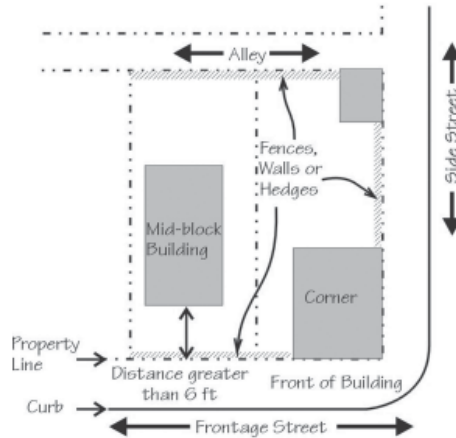
### Permitted Finish Materials:

- Wood (termite resistant)
- Wrought Iron
- Brick (*A cap protects the tops of all brick elements exposed to the weather such as garden walls and free-standing piers. Caps are generally comprised of brick, but may also be comprised of stone, cast stone, terra cotta, concrete, or slate. The edges of caps shall be rectangular or more ornate. Caps shall project past the edge of the brick element below a minimum of 1/2in.*)
- Stone
- Concrete Masonry Units with Stucco (*C.B.S. if primary structure is masonry*)
- Reinforced Concrete with Stucco (*if primary structure is masonry*)
- Wood posts with "Hog wire" infill and a board rail on top.
- Colors or stains for Wood Fences shall be consistent with Page 5.15.
- Precast walls are not permitted.

### Permitted Configurations:

- Wood (picket fences with corner posts; Hedgerow (includes post and hedge);
- Wrought Iron (Vertical, five-eighths inch minimum dimension, four inch to six inch spacing);
- Stone;
- Brick (see Page 5.18 for detailing);
- Stucco (with texture and color to match building walls).

Placement Diagram:



Wood Split Rail:



Hedgerow & Stucco Post:



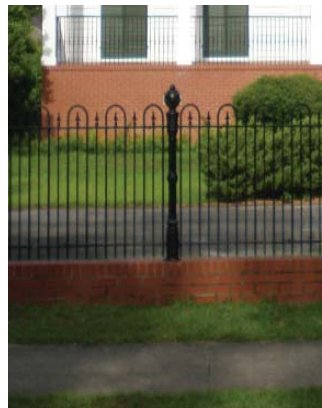
Wood Picket:



Iron:



Iron & Brick:



Brick:



## 10. Solar Design Features

### General Requirements:

- South-facing windows shall be provided with properly-sized overhangs to provide shading in warmer months and passive heating in cooler months.
- East and west shading shall be provided by using glazing with solar heat gain coefficient less than 0.40, or provide natural shading with deciduous landscaping.
- Roof-mounted solar hot water and/or photovoltaic panels are encouraged to reduce grid demand energy use. Wherever possible, roof mounted equipment shall be mounted on secondary roofs, and facing away from public frontages (for low visual impact).
- Proposed lot line plantings and/or building additions that will shade pre-existing solar panel installations on adjacent properties must be approved by the CRA.

## 11. Outdoor Dining

- Outdoor dining is permitted and may occur forward of the Build-to Line, including within the public right-of-way. A minimum of five feet of clear sidewalk access for pedestrians shall be maintained.

## 12. Paint Types and Colors

- For wood wall surfaces stains are recommended over paint. Stains can protect the wood with a minimum of maintenance over time.
- A pre-approved palate of body colors, trim colors, and accent colors shall be maintained by the CRA. Approve colors include (based on Canots Stain Colors):
  - Light Gray, Dark Gray, Slate Gray
  - Barn Red
  - Driftwood Gray, Dune Gray
  - Beige
  - Sagebrush
  - Federal Blue
  - Red Cedar, Dark Red, Redwood
  - Evergreen
  - Sandstone, Spanish Moss
  - Spruce Blue
  - Aspen Green
  - Charcoal, Pewter Gray, Beechwood Gray
  - White and off white
- Color selection for trim materials should compliment and accent stained wood walls. This painting should be limited to no more than 25% of the total wall surface. In addition to the approved colors, pastel paints may be approved for trim and special details. Bright and primary colors may be used for accent lines on trim work.



## 13. Signage

### General Requirements

- All signs shall be subject to review by the CRA in order that signs are consistent and in harmony with the Western Theme. The CRA shall use the graphics in this section as guidelines to make a determination of appropriateness on a case by case basis
- All signs are subject to the Davie Sign Ordinance.
- Signs shall be flat against the facade, or mounted projecting from the facade. Free standing monument signs are not permitted. All signs should be carefully placed and integrated into the facade composition.
- Signs shall be externally lit from the front. Back lighting is permitted only for individual letters or numbers; panelized back lighting is prohibited.
- Building numbers are required (Commercial buildings require building numbers in the front and rear).
- Temporary signs (such as sandwich boards), or signs painted on a side facade may be allowed with approval of the CRA.
- All outdoor lighting must shine downward only to avoid light pollution.
- Bus bench and roof signs are prohibited.

### Finish Materials:

- Wood: painted or natural.
- Metal: copper, brass, galvanized steel, raw steel.
- Painted Canvas.
- Paint/engraved directly on facade surface.

### Configurations:

- One address number no more than six inches tall shall be attached to the building in proximity to the principal entrance or at a mailbox.
- Maximum gross area of signs on a given facade shall not exceed 10% of the facade area; signs painted on a side facade may exceed this limit, with approval of the CRA.
- Signs mounted on facade shall maintain a minimum clear height above sidewalks of eight feet.
- Signs shall not extend beyond the curb line.
- Maximum area of any single sign mounted perpendicular to a given facade shall not exceed six square feet.
- A single external sign band may be applied to the facade of each building, provided that such sign not exceed three feet in height by any length.
- Signage shall be lit externally with a full-spectrum source, except that signage within the shopfront may be neon lit.
- Signage may be lit externally with a full-spectrum source.
- The total sign area must not exceed 10% of the available window area per business (not to exceed 50 square feet per business);
- The maximum number of window signs is one sign per each building elevation if the total window area is 250 square feet or less.

Permitted: Lamps for external lighting



Permitted: The sign is centered above the main entrance at the top of the facade, and is lit via external lamps.

Permitted: Projecting signs which break the skyline are visible from a variety of distances



Permitted: Signs painted on a side facade:



Permitted: Signs mounted projecting from the facade:





### Permitted

- Signs are coordinated in size and placement with the building and storefront



### Not Permitted

- Building sign conceals the cornice
- Over-varied sign shapes create visual confusion
- Awning sign covers the masonry piers
- Sale sign too large for storefront and poorly placed in display window

Permitted: Signs mounted projecting from the facade:



Not Permitted: Pole mounted signs are designed to fit in deep suburban setbacks



Not Permitted: Billboards cater entirely to motorists traveling at high speeds.



Permitted: Signs painted directly on the facade above the front entrance:



Not Permitted: Internally lit plastic signs are designed for the "strip", not a pedestrian oriented main street



## 14. Minimum Brick Detailing

**HEADER:** The horizontal member spanning the top of an opening.

All openings in brick construction should be spanned by a header.

Basic header forms are the lintel, arch, and jack arch. Headers may also be composed of more ornate moldings or pediments.

Headers may be comprised of a variety of materials including: brick, stone, cast stone, terra cotta, and metal. The header should visually appear able to carry the wall load above.

Headers should be a minimum of eight inches in height and should project from the wall surface a minimum of one-half inch. Headers should be slightly wider than the opening they span.

Enlarged keystones are discouraged and shall only be permitted if approved by the Town Council.

**SILL:** The horizontal member at the base of a window opening.

All window openings in brick construction should have a sill at their base.

Sills are generally rectangular in form, and are sloped slightly away from the window opening to shed water. Sills may be comprised of a variety of materials including: brick, stone, cast stone, terra cotta, and metal.

Sills should be a minimum of two inches in height and should project from the wall surface a minimum of one inch. Sills should be equal to or slightly wider than the window opening.



Brick jack arch



Brick segmental arch



Brick sills



Cast stone sill



Cast stone lintel



Bowspring arch w/brick sill



Shared sill



Shared sill & header

**CAP:** The protective top layer of a brick structure exposed to weather from above.

A cap should protect the tops of all brick structures exposed to the weather including: garden walls, stair treads, planter edges, and freestanding piers.

Caps are generally comprised of brick, but may also be comprised of stone, cast stone, terra cotta, concrete, slate, or metal. The edges of caps may be rectangular, or may be more ornate.

Caps should project past the edge of the brick structure below a minimum of one-half inch.

**WATER TABLE:** The horizontal reveal marking the height of the first finished floor level.

All buildings with a raised first finished floor level should have a water table.

Water tables on brick buildings are generally comprised of brick, but may also be comprised of stone or cast stone.

Water tables should involve a reveal in the wall surface a minimum of one-half inch.

**CORNICE:** A horizontal molded projection that crowns or completes a building or wall.

A cornice may be composed of brick and may be a simple corbel to provide a shadow line, or may be more ornate in construction. (For additional cornice requirements, refer to page 5.6 Building Walls.)



Wall with cap



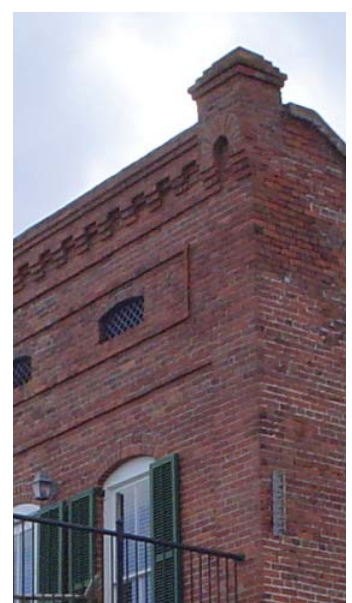
Water Table



Brick Detailing



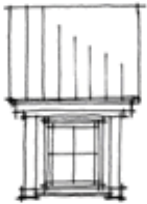
Cornice



Cornice



## 15. Dormers



Dormers provide light, egress and ventilation to upper-story spaces within the roofline. The use of dormers is commonly found in the Floridian Vernacular and is strongly encouraged as both a functional and decorative element. Dormers may take on a variety of forms. Most commonly they will have gabled, hipped, or shed roofs, with either open rafters or closed soffits. It is important to consider the size and proportion of overhang, as well as the width and height of the dormer in relationship to the scale of the structure. Dormers may be used for ventilation of roof volumes with louvers in place of windows.

Windows or vents shall occupy the majority of the dormer's surface area. Dormers may be set over the main wall plane, set back within the roof mass, or be partially engaged within an exterior wall. Dormer centerlines shall align with the building elements below (centered between columns or directly above windows).



## 16. Chimneys



Chimneys are a central element for a structure, and have long provided opportunities for decorative detailing. Exterior chimneys shall be finished in brick, tabby, or stucco.

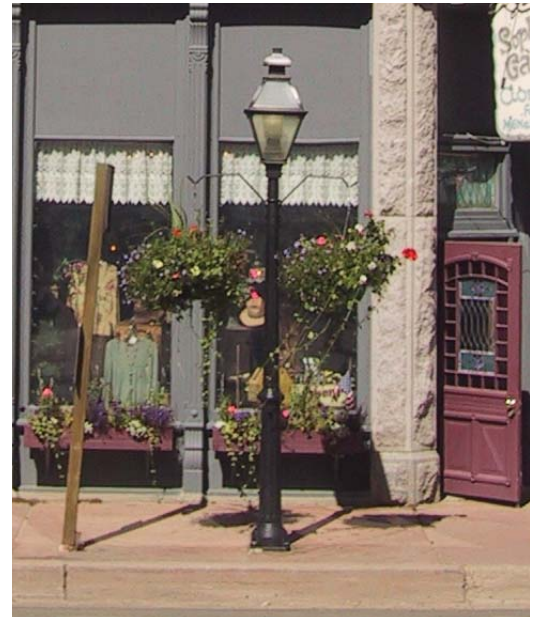
Chimney caps provide the opportunity for a wide variety of details. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, or pre-fabricated chimney caps are not permitted.



## 17. Outdoor Lighting

The treatment of architectural lighting is an important aesthetic consideration in the built environment, while also affecting public safety and welfare. Applicants are encouraged to avoid intense point-sources of light. Concealed illumination is encouraged. These regulations shall supersede the requirements in Article VII, Division 2 of the land development code, as follows:

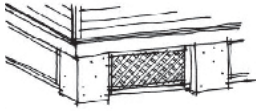
- Pole mounted fixtures situated in vehicular use areas shall not exceed a mounting height of fifteen (15) feet and such poles shall be located so as not to be a hazard in the path of travel for pedestrians.
- Pole mounted fixtures in pedestrian use areas shall not exceed a mounting height of eight (8) feet and such poles shall be located so as to not be a hazard in the path of travel for pedestrians.
- Wall mounted lighting fixtures shall not exceed the height limits set for pole mounted fixtures in their respective use areas, and shall be provided in a manner which will minimize glare to vehicular traffic.
- All outdoor lighting shall provide illumination at ground level not to exceed the range set below:
  - Commercial Areas:
    - Average illumination: 1.5 foot candles
    - Maximum illumination: 5.0 foot candles
  - Residential Area:
    - Average illumination: 1.5 foot candles
    - Maximum illumination: 2.5 foot candles
- All site plans submitted for development review shall include the location, height, and type of all lighting fixtures, deflection shields and direction of beam for the specific fixtures intended for use, and a horizontal foot candle map of the proposed lighting plan.
- In addition, outdoor lighting shall be designed so that any overspill of lighting onto adjacent properties shall not exceed one-half (1/2) foot candle vertical and one-half (1/2) foot candle horizontal illumination to the adjacent properties or structures.
- Non blinking white lights are permitted on a year round basis in order to promote the architectural details and outlines of the buildings.
- Individual light fixtures should be patterned after kerosene and gaslights and mounted to walls or posts.
- Certain types of lights are not permitted:
  - Exposed Fluorescent Lights
  - Exposed Incandescent Lights
  - Exposed Flood Lights
  - Flashing lights



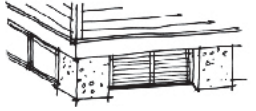


## 18. Skirting & Underpinning

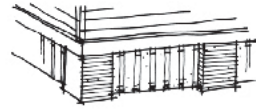
The following are permitted materials for skirting and underpinning: Brick lattice, vertical or horizontal pattern wood lattice or fencing referred to as “pig-board” and louvered vents.



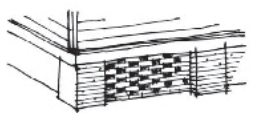
Raised stucco foundation with lattice infill panels



Raised tabby foundation with horizontal louver infill panels



Raised brick foundation with vertical 1x6 louvers



Raised brick foundation with open bond brick infill panels



# C. Architectural Style

## Western Vernacular

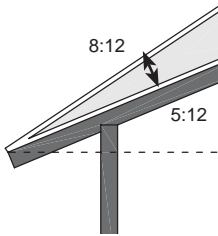
### General:

- The Western Vernacular is most appropriate, and highly encouraged. It is the architectural style characteristic of buildings constructed in the small towns that were built throughout the western United States in the latter half of the 19th century.
- Main building massing tends to be symmetrical.
- Simple gabled roof forms and broken gable or "Spraddle" roof forms.
- Longitudinal gables are typical.
- Exterior chimney are attached to gabled ends.
- Central hall and "dog trot" plans are commonly used.
- Windows are typically double hung and always vertical in proportion.
- Floor-to-floor heights shall be generous; buildings shall be vertical in proportion.
- Appurtenances such as awning, marquee, colonnade, or second floor balcony are used to provide shade for pedestrians.

### Materials:

- Roofs shall be shingle, metal, or wood shake.
- Building walls shall be horizontal wood clapboard or brick.
- Foundation walls shall be brick, stucco or stone.  
Chimneys shall be brick.

### Roofs:



- Roofs pitches shall range from 5:12 to 8:12. A more shallow pitch (from 2:12 to 4:12) may be used for porch and ancillary shed roofs.
- Simple gable and shed roofs are encouraged.
- Eave overhangs shall range from four inches to eighteen inches.
- Enclosed soffits or exposed rafter tails are permitted.





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# VI. Landscaping

## A. Generally:

The intent is to encourage continuous attractive pedestrian and vehicular corridors in the Western Theme Overlay with native species of trees. As part of the overall intent of the Western Theme to evoke a native character for Davie, trees that are a part of the historic ecosystem of the everglades are to be encouraged.

Applicants should choose trees from the approved list in this manual, however other species may be approved by the CRA. It is a good idea to use smaller trees for use directly in front of buildings. Larger trees should be used adjacent to open spaces. The remaining planting area should be planted with ground cover that is low maintenance and low in water consumption. The use of native species is strongly encouraged and should be considered the first choice in plant material whenever possible.

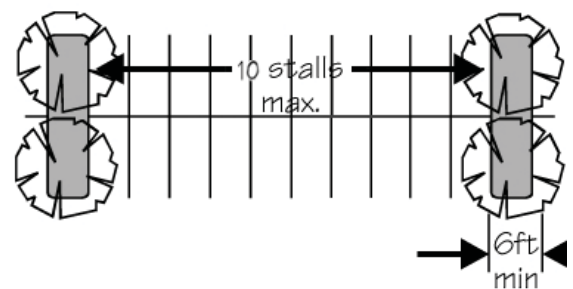
Applications for site plan review shall be accompanied by landscape plans indicating landscaping required by this Manual. The plans are required to be prepared by a person certified in landscaping design pursuant to F.S. Ch. 481.

- **Native Species.** Trees should be of a native species recommended in the guidelines listed herein. Other native trees may be approved by the CRA. Native species are beneficial because they can naturally withstand hurricane strength winds, while also being drought resistant. Native species are also able to attract birds, butterflies, and other wildlife that are part of the ecosystem better than non-natives.
- **Groundcover.**
  - Groundcover shall consist of live plant material, and shall be planted to achieve a full cover appearance within six (6) months from the date of planting. The groundcover shall be mulched, where necessary, and maintained to keep it free of debris, weeds or dead plants. Dead plants occurring within an area of groundcover shall be replaced immediately to prevent aesthetically unattractive areas from developing.
  - Gravel, colored rock, bark and similar materials are not acceptable as groundcover for the purposes of this section. Ground cover shall be of a species as recommended in this manual.
- **Irrigation.** Underground irrigation shall be provided for all landscaped areas within the Western Theme District. The use of greywater cisterns, or other water reuse systems shall be strongly encouraged for irrigation purposes.
- Artificial plant material shall be prohibited.
- **Street Buffers**

- A 4' wide minimum landscape strip along all unbuilt property frontage is required behind the outer edge of rights-of-way along all streets. Said landscape strip may consist of groundcover or sod in combination with trees, shrubs, hedges and flowers. The species selected shall be from the planting list below.
- Where pavement is not provided to the limits of the right-of-way adjacent to the site, there shall be provided a sod area to the edge of the pavement of the roadway.
- Required planting within required street buffer: One (1) 3" minimum caliper tree, 12' minimum height at time of planting, at every thirty (3) linear feet of unbuilt property frontage.

- **Vehicular Use Area Buffer**

- There shall be a minimum 4' wide landscape strip surrounding all vehicular use areas that shall form a separation between said areas and any property line. Said landscape strip shall consist of groundcover in combination with trees, shrubs, hedges and flowers planted in a manner so as not to obstruct the line of sight from an intersection accessway and a public right-of-way. No sod is allowed.
- A landscaped island shall be required for every ten (10) parking spaces provided. In no instance shall a row of more than ten (10) spaces be permitted without the provision of a landscape island to divide any continuation of such row parking. Said island shall have a minimum five (6) foot wide landscape area.
- Required Planting. One (1) street tree for each





landscaped island shall be provided. Additionally, the vehicular use area shall be screened from any abutting property with a landscaped barrier or streetscreen, preferably a hedge not less than three and one-half (3 1/2) feet nor greater than six (6) feet in height. For each thirty (3) linear feet of such screening or fractional part thereof, one (1) three inch caliper tree, twelve-foot minimum height at time of planting, shall be provided between the vehicular use area and abutting property.

- All landscaped areas adjacent to vehicular use areas shall be protected with a six inch extruded curb. Wheel stops may be substituted for curbing only along the front of parking stalls.
- Where a parking stall is adjacent to an access way, there shall be a terminal landscaped island separating the parking space from the intersection. The island shall have a five-foot minimum width landscaped area and shall be encompassed with a six-inch concrete access way.
- **Shrubbery.** Shrubbery shall be a native species specified in the manual as listed below. Other native shrubbery may be approved by the CRA
- **Installation:**
  - All landscaping shall be installed in a sound manner and according to accepted good planting procedures, with the quality of plant materials as hereinafter described.
  - A qualified representative of the agency charged with the issuance of building permits shall inspect all landscaping and no certificate of occupancy or similar authorization will be issued unless the landscaping meets the requirements herein provided.
- **Plant Material**
  - Plants used in conformance with provisions of this chapter shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants," Part I (1963) and Part II, State of Florida, Department of Agriculture, Tallahassee, or equal thereto. Grass sod shall be clean and reasonably free of weeds and noxious pests or disease.
  - Trees (except palm and pine trees) shall be of a species having an average mature spread or crown of greater than fifteen (15) feet and having trunks which can be maintained in a clean condition over five (5) feet of clear wood. Trees of species whose roots are known to cause damage to public roadways or other public works shall be planted not closer than twelve (12) feet to such public works, unless the tree root system is completely contained within a barrier for which the minimum interior container dimensions shall be five (5) feet square and five (5) feet deep, and for which the construction requirements shall be four (4) inch thick concrete reinforced with No. 6 road mesh (6.6.6) or equivalent.
  - Hedges, where required, shall be planted and maintained

so as to form a continuous unbroken, solid, visual screen within a maximum of one (1) year after time of planting.

- Vines shall be a minimum of thirty (30) inches in height immediately after planting and may be used in conjunction with fences, screens or walls to meet physical barrier requirements as specified.
- Grass or sod is prohibited.
- **Existing Plant Material.** Credit for quality trees preserved on a site shall be granted toward meeting the tree requirements of any landscaping provision of this section. Quality shall be judged on the basis of such factors as extraordinary size of trees, vigorous health, large canopy cover, historic value and age. No credit will be granted for preserved trees which are extremely poor specimens or which are in declining health.
- **Noncompliance.** If the landscaping requirements of this chapter have not been met at the time that a certificate of occupancy could be granted and is requested, the owner or his agent must post with the department a bond of one hundred (100) percent of the costs of materials, labor, and other costs incidental to the installation of the required landscaping.
- **Sight distance.** No landscaping or structures adjacent to rights-of-way or points of access shall be so located as to create a traffic hazard by obstructing the line of sight.

## Western Theme Overlay District Allowed Plant List

### Permitted Street Trees

Common Name	Botanical Name	Canopy
Live Oak*	Quercus virginiana	50'
Paradise Tree*	Simarouba glauca	
Gumbo Limbo*	Bursera simaruba	30'
Wild Tamarind*	Lysiloma bahamensis	25'
Slash Pine*	Pinus ellioti	
Sabal Palm*	Sabal palmetto	
Red Maple	Acer rubrum	50'
Mahogany*	Swietenia mahogoni	25'
Pigeon Plum*	Coccoloba diversifolia	35'
Jamaica Dogwood*	Piscidia piscipula	50'
Green Buttonwood*	Conocarpus erectus	30'
Strangler Fig*	Ficus aurea	
Shortleaf fig*	Ficus citifolia	35'
Dahoon Holly*	Ilex cassine	12'
Satinleaf*	Chrysophyllum oliviforme	20'
Silver Palm*	Coccothrinax argentata	
Silver Buttonwood*	Conocarpus erectus	25'
Seagrape*	Coccoloba uvifera	
Native Palm Trees		

\* Denotes a native species.

### Permitted Shrubs

Common Name	Botanical Name	Size
Cocoplum*	Chrysobalanus icaco	S
Jamaica caper*	Capparis cynophallophora	
Silver Buttonwood*	Conocarpus erectus	M
Marlberry*	Ardisia escallonioides	M
Beautyberry	Callicarpa americana	M
Spanish Stopper*	Eugenia foetida	M
Simpson Stopper*	Myrcianthes fragrans	L
Firebush*	Hamelia patens	M
Wild Coffee	Psychotria nervosa	M
Florida Privet*	Forestiera segregata	M
Satinleaf*	Chrysophyllum oliviforme	M
Wax Myrtle*	Myrica cerifera	M
Seagrape*	Coccoloba uvifera	M
Saw Palmetto*	Serenoa repens	M

### Permitted Ground Cover

Common Name	Botanical Name
Purple Queen	
Jasmine (wax)	
Juniper	
Dwarf Gamma Grass*	Tripsacum floridanum
Mondo Grass	
St. Augustine (floratam)	
Railroad Vine	
Beach Sunflower	Helianthus debilis
Lantana depressa	
Ilex vomitoria	
Coontie*	Zamia pumila
Asparagus Fern	



**Prohibited Plant Species.** Certain species of plants are exotic to the landscape of South Florida. Since these plants came from other areas of the world, many times, their natural population controls (disease, insects, etc.) were left behind in their native homes and these controls are not present in their new homes.

Here they can monopolize resources, out compete native plants and even displace native wildlife by adversely altering the habitat.

Following is a list of prohibited species:

Air Potato (*Dioscorea bulbifera*)  
Australian Pine (*Casurina equisetifolia*)  
Banyan Fig (*Ficus benghalensis*)  
Bishopwood (*Bischofia javanica*)  
Brazilian Jasmine (*Jasminum fluminense*)  
Brazilian Pepper (*Schinus terebinthifolius*)  
Burma Reed (Cane Grass) - *Neyraudia reynaudiana*  
Carrotwood (*Cupaniopsis anacardioides*)  
Castor Bean (*Ricinus communis*)  
Catclaw Mimosa (*Mimosa pigra*)  
Climbing Fern (*Lygodium japonicum*, *Lygodium microphyllum*)  
Day Blooming Jasmine (*Cestrum diurnum*)  
Earleaf Acacia (*Acacia auriculiformis*)  
Gold Coast Jasmine (*Jasminum dichotomum*)  
Governor's Plum (*Flacourtia indica*)  
Indian Rosewood (*Dalbergia sissoo*)  
*Ixora* spp.  
Lather Leaf (*Colubrina asiatica*)  
Lead Tree (*Leucaena leucocephala*, *Leucaena glauca*)  
Life plant (*Bryophyllum pinnatum*)  
Lofty Fig (Banyan Tree) - *Ficus altissima*  
Madagascar periwinkle (*Catharanthus roseus*)  
Mahoe (*Hibiscus tiliaceus*)  
Mast wood (*Calophyllum calaba* - *C. Inophyllum*)  
Melaleuca (Punk Tree) - *Melaleuca quinquenervia*, *Melaleuca leucadendron*  
Napier Grass (*Pennisetum purpureum*)  
Orange jessamine (*Murraya paniculata*)  
Orchid tree (*Bauhinia variegata*)  
Orchid tree (*Bauhinia purpurea*)  
Oyster plant (*Rhoeo spathacea*)  
Puncture Vine (*Tribulus cistoides*)  
Queensland Umbrella Tree (*Schefflera actinophylla*, *Brassaia actinophylla*)  
Red Sandalwood (*Adenanthera pavonina*)  
Seaside Mahoe (*Thespesia populneoides*)  
Shoebutton Ardisia (*Ardisia elliptica*, *Ardisia humilis*)  
Surinam cherry (*Eugenia uniflora*)  
Tropical Soda Apple (*Solanum viarum*)  
Woman's Tongue (*Albizia lebbekii*)  
Woodrose (*Merremia tuberosa*)  
Pongamia pongam Derris indica  
Pothos *Epipremnum pinnatum* cv. *Aureum*  
Lantana *Lantana camara*  
Japanese pittosporum *Pittosporum tobira*  
Canistel *Pouteria campechiana*  
Guava *Psidium guajava*  
Cattley guava *Psidium littorale*  
Bowstring Hemp *Sanservieria hyacinthoides* - *S. trifasciata*  
*Scaevola*, Half-flower *Scaevola taccada* var. *sericea* - *S. frutescens*; - *s.sericea*  
Arrowhead *Syngonium podophyllum*  
Jambolan, Java plum *Syzygium cumini*  
Rose apple *Syzygium jambos*  
Tropical almond *Terminalia catappa*  
Puncture vine *Tribulus cistoides* Sandy,  
Washington palm *Washingtonia* spp  
Wedelia *Wedelia trilobata*  
Wandering zebra *Zebrina pendula*